

EXISTING FOOTPATH GRADE APPROX. 1:20 (5%)

EXTENT OF DEDICATION FOR ROAD WIDENING 177.6 SQM

EXTENT OF BASEMENT BELOW

FREE

DELETE RAMP & REINSTATE DEEP SOIL LANDSCAPE

EXISTING FOOTPATH GRADE APPROX. 1:17 (6%)

EXTENT OF EXISTING BASEMENT

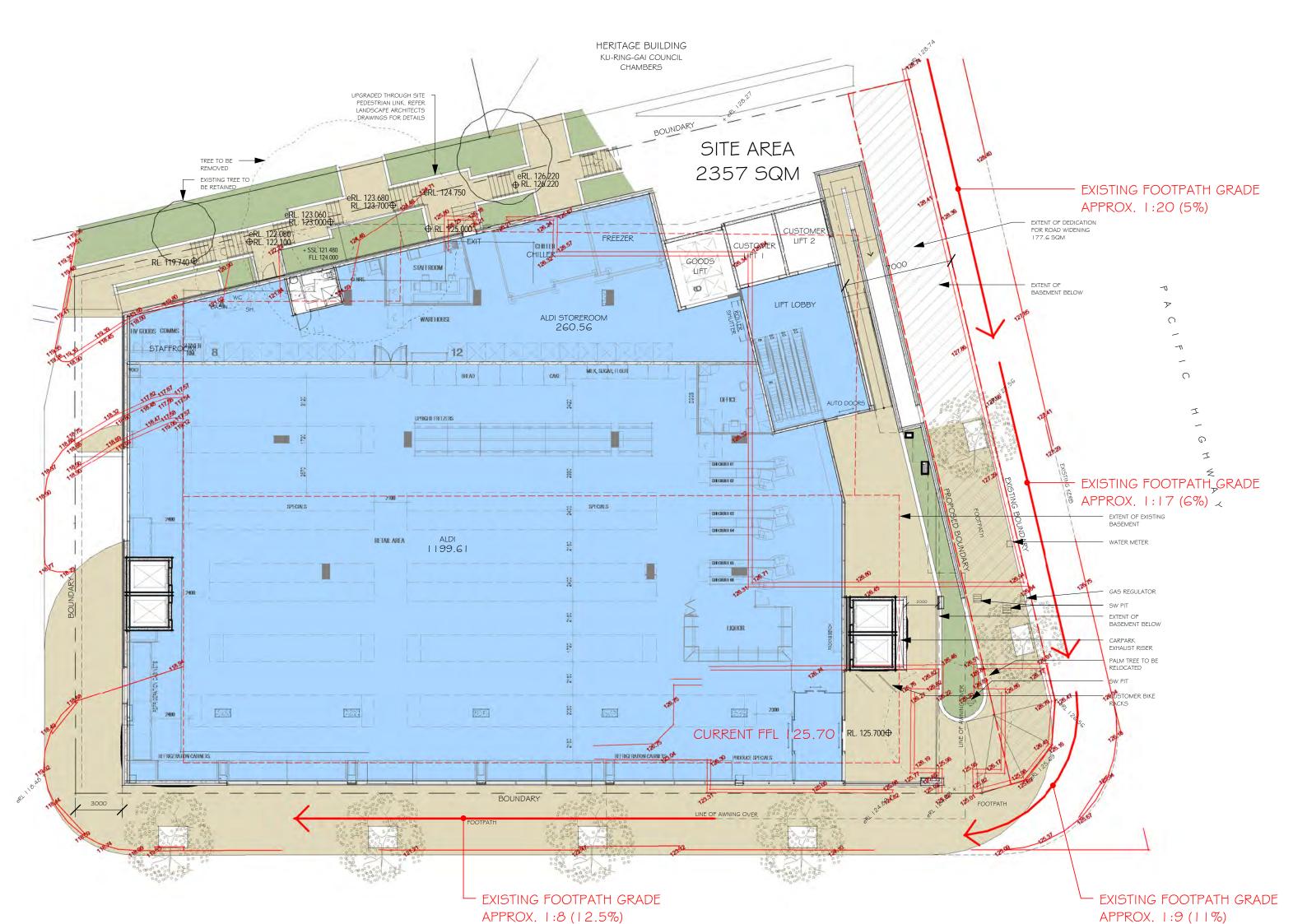
WATER METER

GAS REGULATOR SW PIT EXTENT OF BASEMENT BELOW

CARPARK EXHAUST RISER PALM TREE TO BE RELOCATED

5W PIT RACKS

EXISTING FOOTPATH GRADE APPROX. 1:9 (11%)



PRE-DEVELOPMENT APPLICATION

COMMENTS

APPLICATION NO:	PRE0057/17								
ADDRESS:	810 Pacific Highway, Gordon								
DESCRIPTION OF PROPOSAL:	Demolition of Existing and Construction of a Mixed Use development, basement car parking, supermarket and shop top housing.								
PRESENTAT	Council								
MEETING:	Name		Title						
	Helen Dee	gan	TPG Di	rector Plannin	q				
	Kathy Haw	/ken	KMC D	evelopment Er	ngineer				
	Robyn Ask	ew			ssment Officer				
	Paul Davie	S	Paul D	avies PL Archi	tects Heritage				
	Kerry Hunt	er	КМС И	rban Design	-				
	Adam Rich	ardson	KMC T	own Planner					
	Richard Ki	nninmont	KMC T	eam Leader					
		Applicant's	s represe	entatives					
	Name		Сарасі	Capacity					
	Jon Kenne	dy	Group Corporate Property Director						
	Deborah Fe	arina	RPS						
	Charlie Mu	ir	RPS						
	Rowan Gie	etz	Leffer S	Simes Architec	ts				
PLAN REFERENCES:	Plan no.	Plan description		Drawn by	Dated				
	#SK19	Height plane map		#SJ	#26/06/2017				
	#SKoo	Context study and so	chedule	#SJ	#20/04/2017				
	#SKo1	Carpark level P3		#SJ	#27/04/2017				
	#SKo2	Carpark level P2		#SJ	#27/04/2017				
	#SKo3	Carpark level P1		#SJ	#27/04/2017				
	#SKo4	Loading Dock		#SJ	#27/04/2017				
	#SKo5	Ground floor		#SJ	#27/04/2017				
	#SKo6	Level 1		#SJ #SJ	#27/04/2017				
	#SKo7 Level 2				#27/04/2017				
	#SKo8	Level 3		#SJ	#27/04/2017				
	#SKog	Level 4		#SJ #SJ	#27/04/2017				
	#SK10 Level 5				#27/04/2017				
	#SK11	Level 6		#SJ #SI	#27/04/2017				
	#SK12	Level 7		#SJ #SJ	#27/04/2017				
	#SK13	Street elevations		#21	#27/04/2017				

	#SK14	Side and rear elevation	วทร	#SJ	#27/04/2017
	#SK15	Section	5115	#SJ	#27/04/2017
	<i>"</i> σι (1)	Apartment schedule	sheet 1		
		Apartment schedule			
		Apartment schedule			
		Apartment schedule			
		Apartment schedule	-		
		Apartment schedule	-		
	Document		Dated		
DOCUMENTS/REPOR TS:	Nil	(5)	Dated		
KEY ISSUES:	 require <u>Height</u> (Local of require demon achieve <u>Heritag</u> located <u>Ground</u> KLEP 2 <u>Minimu</u> clause Other issue <u>Traffic</u> and acc <u>Urban</u> addres heritag of surro precind centre Articula elemer interna A meritalong t be cool 	sibility: Application to ments and definition of buildings: refer to Centres) (KLEP 2012). d to be justified throus strate additional envi ed as a result of any va ge: refer to clause 5.10 d in close proximity to d floor development in 012. Jm street frontages for 6.7 of KLEP 2012.	of shop clause 4 Variatio igh a cla ronmen ariation f o of KLEI Heritag <u>o fots in</u> reful con it will be ds to res mmercia it will be ds to res mmercia is will nee der a var iDCP_LC 's engine	top housing .3 of Kur-rir on to prescr use 4.6 app tal and plar to the stand P 2012. The e Item I17 (<u>ss zones:</u> re <u>business zo</u> nsideration very vehicle provide a p e viewed 'in spond to th al, residention to be integed to be integed to be integed to be car riation to th curban Pre	g ng-gai LEP 2012 ribed height is plication. Must nning merit dard. e subject site is Council Chambers) efer to clause 6.6 of ones: refer to ones: refer to to Dumaresq St e access public domain the round', has e urban structure ial, and public mer site within the building grated with the refully resolved. he 15m setback ecincts) needs to irements for future

	 retention, and heritage considerations. (Further detail provided below) <u>Heritage</u>: The site is not a heritage item but is adjacent to the Council Chambers that are locally heritage listed and is located opposite the former School complex that is heritage listed. Apart from one palm tree (refer to landscape assessments) the landscape setting is not of heritage significance except that it provides a setting and screens the building on the site. The key heritage issues on the site are the interface and contextual fit of a new building with the adjoining heritage buildings and also the broader Gordon shopping centre.
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EXECUTIVE SUMMARY

Zone:	B2 Local Centre
Permissible Development:	Shop Top Housing permissible with Consent however proposal must ensure ability to demonstrate compliance with definition.
Relevant Environmental Planning Instruments & Codes	Ku-ring-gai LEP 2015 & Ku-ring-gai DCP Ku-ring-gai LEP (Local Centres) 2012 and Ku-ring-gai Local Centres DCP 2015 Section 94 – Development Contribution Plan Plans of Management SEPP 19 – Bushland in urban areas SEPP 55 – Remediation of land SEPP 64 – Advertising and signage SEPP 65 – Design quality of Residential Apartment Development SEPP (BASIX) 2004 SEPP (Sydney Harbour Catchment) 2005 SREP 20 (Hawkesbury Nepean River) SEPP (Infrastructure) 2007

Specific Concerns

Site affectation	Application:
Visual character study	Not categorised on map
category	
Easements/rights of way	Nil
Heritage Item - Local	No
Heritage Item - State	No
Heritage conservation area	No
Within 100m of a heritage	Yes
item	
Bush fire prone land	No
Natural Resources	No
Biodiversity	
Natural Resources Greenweb	No
Natural Resources Riparian	No
Within 25m of Urban	No
Bushland	
Contaminated land	Yes
Within 25m of Classified	Yes
Road	
Within 25m of a rail	No
corridor/tunnel	

COMMENTS

As discussed at the meeting our assessment has revealed a number of issues which will require an amended design. It is recommended that the following issues be addressed before proceeding with the lodgement of a formal development application:

Town Planning

KLEP 2012	Description	Comment
clause		
Land use	Permissibility	Need to determine permissibility of shop top housing, ambiguity over definition of development. Council is currently considering the application of this definition and permissibility and how it might relate to multiple street frontages. This consideration also extends to how 'ground level' is determined on sloping sites.
4.3	Height of buildings	Refer to clause 4.3 of Kur-ring-gai LEP 2012 (Local Centres) (KLEP 2012). Variation to prescribed height is required to be justified through a clause 4.6 application. Must demonstrate additional environmental and planning merit achieved as a result of any variation to the standard.
5.10	Heritage	Heritage: refer to clause 5.10 of KLEP 2012. The subject site is located in close proximity to Heritage Item 117 (Council Chambers).
6.6	Ground floor development in business zones	Ground floor development in business zones: refer to clause 6.6 of KLEP 2012. Site is located in a B2 zone.
6.7	Minimum street frontages for lots in business zones	Minimum street frontages for lots in business zones: refer to clause 6.7 of KLEP 2012. Site is located in a B2 zone. However, no subdivision is proposed.

Main DCP Controls

DCP Parts applicable (Ku-ring-gai DCP (Local Centres)

- Part 8 Mixed Use Development
- Part 12 Signage and Advertising
- Part 14 Urban Precincts and Sites- Gordon
- Part 20 Development near rail corridors and busy roads
- Part 21 General Site Design
- Part 22 General Access and Parking
- Part 23 General Building Design and Sustainability
- Part 24 Water Management

Specific Considerations

DCP control	Comment
Part 14 D.4 Setbacks	15m setback to Pacific Highway, 3m to Radford Place

Part 14 D.9 Civic Hub	Zero setback to all boundaries in B2 zone (with the exception of the above)
	Principal active frontage along Pacific Highway
	Vehicular access via Radford Place
Part 8 C.8	Communal Open Space plan to be provided pursuant to Part 8 C.8 of the
Communal Open	KDCP 2015. Specific controls are included below.
Space	A minimum of 10m2 of communal open space per dwelling is to be
	provided. This can be provided on the podium or roof area.
	At least one single area of Primary communal open space for the
	residents is to be provided with the following requirements:
	i) a minimum area of 80m2; and
	ii) a minimum dimension of 8m; and
	iii) access to direct sunlight for at least two hours between 9am and 3pm on
	21st June, to at least 50% of the space, and
	iv) directly accessible from the internal common circulation/lobby
	area.

Further comments

- Further consideration needs to be given to DCP setbacks to create better design outcome to Pacific Highway frontage. Variation to setback may be acceptable if good urban design and heritage outcome can be achieved.
- Give further consideration and justification of the proposed building and its relationship to adjoining Council Chambers (heritage item).
- There is an expectation that documentation submitted at DA stage will consider the external façade treatments, renders of look and feel of building.
- The proposal needs to acknowledge the desire and need to promote pedestrian linkages to adjacent Gordon Centre. Key issues for urban design/streetscape along Pacific Highway.
- Design challenge: All 4 frontages are to be considered in more detail as they all have relationships to public space. This requires careful thought for a positive design outcome. For further detail refer to Urban Design comments below.
- Council notes the complexity of the site as it has 4 active frontages to be considered. The combination of the multiple uses can create design challenges which need to be well resolved in the documentation submitted to Council.
- Opportunity to review landscaping and vegetation for current building and opening up of areas to improve vistas. For further detail refer to landscaping comments.
- Planning matters cannot sit in isolation given the unique site context.
- Site is located within a unique civic heritage precinct which is currently undergoing a master planning exercise. While the outcome of this review cannot be predetermined, the proposals need to give consideration to its significant position within this precinct. The proposal is to consider how it may be able to coordinate/ integrate within a future master plan.
- Building materials are to be low maintenance and there is a need to utilise materials that weather well over time, meaning that painted surfaces are discouraged. Need to blend in with landscape to create landscape character with public setting to create places that encourage positive pedestrian experiences and interactions.
- Consider provision of economic advice on need for retail space in the locality to be submitted with DA.
- Acoustic report to manage internal issues.
- Requires RMS referral (Clause 104 of ISEPP, traffic generating development).
- Requires referral to WaterNSW.

Landscape comments

Tree retention

Phoenix canariensis (Canary Island Palm)

The Canary Island Palm located adjacent to the intersection of the Pacific Highway and Dumaresq Street is in good health and condition and forms an integral part of the streetscape within the Gordon Centre Precinct. The location of the palm within the south eastern corner of the site does enable its retention with some minor modifications to the proposed development.

To preserve the palm a minimum setback for the proposed building of 5 metres radius from the centre of the trunk would be required. Paving is permitted within the tree protection zone provided it is at existing soil levels and provides infiltration to the trees root zone.

Arborists report

An arborists report will be required if any trees are to be removed or works are required within the tree protection zones of any trees protected under council's Tree Preservation Order .

The arborist report shall address the following issues;

- A report by an arborist of qualification AQF 5, shall be prepared detailing the position, species, height, trunk diameter, and canopy spread of existing trees on or adjacent to the site, and a detailed analysis of the condition and health of these trees. The trees are to be clearly numbered in the report.
- The report is to provide a tree location plan which is easily legible, at a suitable scale of not less than 1; 200, indicating the trees and tree numbers.
- Information is to be provided detailing trees proposed to be removed and trees to be retained in regard to the proposal, full reasons for recommending removal, including development impacts, tree condition, relevant structural testing or other relevant arboricultural analysis supporting the conclusions. Unsubstantiated observations, analysis or opinion is not acceptable.
- The report shall also provide an analysis of the impacts of the proposal on existing trees both on the site and adjacent to the site. The report shall reference and use the standards and principles as set out in AS4970-2009 Protection of Trees on Development Sites.

Communal open space

A communal open space (COS) compliance plan will be required indicating compliance with Part 8C.8 of the Ku-ring-gai Local Centres DCP. It is recommended that consideration be given to locating the COS on the roof terrace.

Landscape plan

A landscape plan is to be submitted in accordance with Step 4 of the Development Application Guide dated November 2015.

The following issues are to be addressed;

- The *Phoenix canariensis* (Canary Island Palm) located in the south eastern corner of the site is to be retained. Paving is permitted within the tree protection zone provided it is at existing soil levels and provides water infiltration to the trees root zone.
- All garden beds located on structures or podiums shall comply with Table 5 of Part 4P of the Apartment Design Guide.
- The plan shall comply with the controls and objectives outlined in Part 2D of the Public Domain Plan.
- View corridors along the Pacific Highway to the Council Chambers are to be enhanced and protected. Careful consideration should be given to the planting within the Aldi forecourt area and the proposed landscape space on the northern side of the site so as to not totally block the view of the Council Chambers.
- Four (4) x *Pyrus calleryana 'Capital'* (Capital Callery Pear) are to be planted on the nature strip along Dumaresq Street between the Pacific Highway and Radford Lane.
- The planting on the site shall be predominantly exotic species characteristic of the adjoining heritage item.

Engineering comments

Water management

The development will require on site detention, retention and re-use of runoff, as well as water quality measures. Controls are given in Part 24 of the Local Centres DCP. It is recommended that the engineer advise now on suitable tank locations so that adequate space can be provided for these. Note that runoff from traffickable roof terraces is stormwater and cannot be used inside the building without treatment. This may affect compliance with Council's requirement for a 50% reduction in runoff days for protection of downstream waterways. If a variation to the control is sought, it must be quantified and justified.

Traffic, vehicular access and parking

The development will be referred to Roads and Maritime Services. If it is of a scale listed in Schedule 3 of the SEPP (Infrastructure) 2007, then the concurrence fee should be lodged with the DA (see Clause 252A of the Environmental Planning and Assessment Regulation 2000).

Radford Place is the logical frontage for vehicular access. The traffic report is to give an estimate of traffic generation for the development and its effect on through traffic to the two neighbouring buildings and vice versa. Pedestrian and vehicular sight distances are to be assessed, as well as any queuing effects.

The report is also to address traffic generation in Dumaresq Street, particularly in the context of the offset exit from the Gordon Centre carpark opposite. Intersection analyses for all affected intersections are to be included.

Parking rates are given in the Local Centres DCP. The traffic engineer's report should also confirm compliance with the geometric requirements of AS2890.1:2004 *Off street car parking*.

Turning path diagrams for the largest delivery vehicle must be shown on a plan, and any parking restrictions required in Radford Place to accommodate these movements must be identified by the traffic engineer. Support for such restrictions, which require traffic committee approval, cannot be guaranteed.

Waste management and servicing

Controls for waste management are outlined in Part 23.7 of the Local Centres DCP.

For residential waste, an area for waste storage and collection must be provided in the basement, large enough for containers to be manoeuvred during collection and accessible by Council's small vehicle. The plans are to demonstrate a maximum gradient of 20% and minimum headroom of 2.6 metres along the path of travel and a standing and turning area for the small vehicle. A longitudinal section along the entry driveway is also to be provided.

Council's commercial waste collection requirements are also given in Part 23.7 of the DCP. The minimum headroom for commercial collection is 4.5 metres. It appears that the vehicle to be accommodated in the loading dock will exceed Council's requirements.

A loading dock management plan should be included with the DA. This can be in the form of a standard written document outlining hours of access etc.

Construction traffic management

An indicative Construction Traffic Management Plan is to be provided. The plan is to include construction vehicle routes, site entry and exit points and turning paths for construction vehicles entering and leaving the site.

Matters to be addressed include management of through traffic and pedestrians in Radford Place, location of materials stockpiles and site sheds as well as provision for crane and concrete pump standing.

Subsurface investigations

A geotechnical engineer's report is required, which is to address such matters as excavation methods and support, vibration monitoring and dilapidation survey of nearby structures. Roads and Maritime Services may have requirements for continued support of the Pacific Highway.

There is a mapped riparian zone within about 70 metres of the site, so the report should also state whether any groundwater was encountered above proposed basement level and whether construction dewatering requiring an aquifer interference approval will be required. If this is the case, the development will be integrated to WaterNSW.

The environmental reports are to specifically confirm that the site is or can be made suitable for the proposed residential development.

Stratum/ strata subdivision

Stratum subdivision is a form of Torrens title subdivision, the purpose of which is to separate different uses within a building. If stratum subdivision is proposed as part of the DA, then plans are to be submitted (coloured plans make it easier to distinguish the different uses). The "subdividing land" box on the DA form should be ticked and stratum subdivision included in the description of the development.

Strata subdivision of the residential component will probably not be included in the DA, since a private certifier can issue an approval for strata subdivision and may developers prefer to arrange this while the building is under construction. If strata subdivision is to be included, the "subdividing a building into strata lots" box should be ticked on the form, strata plans submitted and strata subdivision included in the description.

<u>Urban Design</u>

NOTE: SEPP 65 now establishes a clear link from ADG through to EP&A Regulation. This means that if the ADG design guidance, design criteria are demonstrated in a design, the ADG objectives will be satisfied. If the ADG objectives are satisfied, the SEPP 65 Design Quality Principles will be satisfied, and therefore SEPP 65 and the EP&A Regulation can be satisfied.

EP&A Regulation cl 50(1AB)(b) includes important changes to the design verification statement (DVS) that captures the design drawings as follows (my bold and italics):

provide an explanation that verifies *how the development*:

(i) addresses *how* the design quality principles are achieved, and

(ii) *demonstrates*, in terms of the Apartment Design Guide, *how* the objectives in *Parts 3 and 4* of that guide have been achieved.

Therefore, omission of ADG Part 3 information (site analysis and context), and/or a lack of demonstrated coordination between the design strategy and the specific site conditions means the proposed design cannot satisfy the EP&A or SEPP 65, and fails the first test.

It is suggested that a series of simple graphics accompany the DVS as this can provide rapid, clear visual confirmation of how the design has responded to the specific site conditions, and how it has achieved the objectives of the ADG Parts 3 and 4.

1 Pre DA Key urban design issues

(a) General

- See ADG PreDA checklist; and Part 3A Site Analysis requirements note diagrams shown in Part 3A, plan and section. This will be important to establish due to the three street frontages and heritage adjacency. The building needs to provide a public domain address on all sides because it will be viewed 'in the round', has heritage considerations, needs to respond to the urban structure of surrounding context of commercial, residential, and public precincts, the visibility of being a prominent corner site within the centre of Gordon.
- Site analysis needs to be consistent with SEPP 65 and is required to establish the foundation against which to test the design response as per previous point
- Ensure all DA documents are properly dimensioned so that all room widths and lengths, wall lengths locate the building on the site. This is required to enable a full assessment without the need for requesting time-consuming supplementary information during DA assessment.

It is needed to confirm the location of the building on the site; to describe the proposed articulation; demonstrate minimum room sizes, private open space, and for all accessible housing requirements. A DA will need to comply with EP&A Regulation at Schedule 1 Part 1 clause 2 subclause (3)(b)(c) to provide fully dimensioned architectural plans and sections.

- (b) Context
- It is important for the building to consider the composition and expression of all elevations in order to satisfactorily address all street frontages and requirements of KDCP_LC Urban Precincts
- Consider how the development may be able to coordinate with a future master plan for Council's site and/or ability to integrate with a future master plan
- A merit assessment to consider a variation to the 15m setback along the Pacific Highway (KDCP_LC Urban Precincts) needs to be coordinated with Council's engineering requirements for future road upgrades (should there be any) with landscape for tree retention, and heritage considerations. However, from an urban design perspective, there appears to be potential for a merit assessment for some relaxation of this setback provided there is a well-resolved public domain interface along the Pacific Highway ground plane and the relationship with the Council Chambers building. This appeared to be problematic in the preDA scheme and requires amendments to relocate the lifts and rearrange the supermarket level back-of-house functions to avoid the 3+metre blank walls defining the Pacific Highway frontage across the extent from the supermarket to the northern edge of the building. I note the preDA documents show a 12m setback line that is from a previous requirement (see also Figures 1 and 2 in letter from RPS Group dated 19th June 2017). My opinion is that this line appears arbitrary from a built form perspective (relating to view corridors I believe) and will be counter-productive to achieving a good result on the site. Deference to the heritage item can be demonstrated by the proposed site arrangement that creates a physical separation between the proposed development above podium level, and then by ensuring all building form at ground and above responds to the existing subdivision and built form alignments and surrounding context so that streets and corner are well defined.
- Activate all frontages
- Activation of the Highway frontage and corner with Dumaresq St requires further consideration. Topography is slightly falling but relationship of ground level to the adjacent ground should maximise the ground level visibility from the public domain into the site. Create a character defining the entry and corner.
- Proposed fire stair from the basement egressing at the most prominent corner (Pacific Highway/Dumaresq St) is a poor outcome for the public/private interface and streetscape character. The proposal appears to have considered basement egress functionality without a considered design response of what happens above ground. This goes back to understanding the surrounding context and establishing a clear hierarchy of public domain objectives that can be tested.
- More to be done to activate the Dumaresq St/Radford Place corner secondary residential entry is positive start but appears flat in the façade. Again the entry leads to an internal arrangement of storage cages, which is unsatisfactory.
- Consider the visibility of all corners, effect of falling topography on visibility of the building, its presentation in the streetscape, and how it engages at ground level. It's a building that will be viewed in-the-round, from all angles (low to high and high to low)
- Elevations need to show how the building will sit in the streetscape beyond the site; it is not a site in isolation.

(c) Built form

- Height exceeds LEP maximum does not appear to be strong urban design justification. Motivation appears to be in seeking maximum FSR. Such a variation would require an outcome for the public domain that goes beyond the requirements outlined previously and/or very successfully resolves them.
- Insufficient detail on preDA drawings for full comment. Detail of the Aldi component appears highly resolved with only schematic representation of the residential.
- General comments: built form appears to be driven by logistics of the preferred solution for the supermarket with the residential massing located to define Dumaresq Street and create a separation from the heritage item. However, there is no demonstrated consideration to the definition and alignment of the highway frontage, the lane, and presentation at ground level around the site. Needs further consideration and design development. The preDA podium element that is above ground along the northern and eastern boundaries demonstrates no consideration of response to context. Amendments as per previously noted to rearrange the back of house/services and/or basement layouts are required to resolve this.
- As previously noted, it will be a highly visible building so there opportunities to propose different alignments of built form for the base/podium and upper level residential block which may assist with addressing the public domain and context issues.
- Articulation of and creating a hierarchy of building elements, façade composition integrated with the internal layout and materials will need to be carefully resolved.
- Height plane shown on the elevations appears inconsistent between the Pacific Highway/Dumaresq St corners, which should be corrected in any DA submission.
- A 3-d height plane diagram should be submitted to demonstrate areas of compliance or non-compliance.

(d) Density

- Please note that the B2 zone anticipates a retail/commercial building type for the 3.0:1 FSR. A predominantly residential building type is inherently different and therefore may not achieve maximum permissible FSR.
- Achieving required SEPP 65 amenity cl 6A in its entirety necessary to demonstrate proposed yield is acceptable, and that all SEPP and ADG requirements are demonstrated.
- (e) Noise
- Noise barrier planning principles to be demonstrated
- Note requirements of KDCP_LC Part 20 for development along noise corridors
- (f) Solar access
- PreDA documents indicate solar access can easily meet SEPP 65 cl 6A(b)
- However, my calculations for units receiving no solar access indicate 11 units out of the 57 (19.2%), which won't satisfy SEPP 65 cl 6A(b). There are no site constraints that would prevent achieving 100% compliant solar access; therefore variations will not be accepted from an urban design perspective.
- (g) Cross ventilation
- Able to be achieved
- (h) Landscape
- Retention of significant trees required for urban character subject to requirements of Council's landscape officer

- This is likely to be important to the heritage significance being retained subject to the heritage consultant's requirements.
- (i) Unit layout
- No detail provided, however, the two lift cores and dual aspect units should be able to achieve good adequate amenity (Noise likely to be the biggest issue)
- Note SEPP 65 indicative layouts in the ADG are spatially efficient. Proposed units will need to be equally efficient if seeking the minimum unit sizes
- Pay attention to requirements for access to bedrooms and bathrooms being from a corridor or alcove and not opening directly into the kitchen or living areas
- Amendments will be required to address general unit arrangement on site to achieve solar access
- POS appears to be easily achievable and needs to be dimensioned on drawings.
- (j) Communal spaces
- All lift lobbies at all levels are to have adequate natural light and ventilation. Internalised lobbies are not acceptable
- The proposed dog-legged corridors are unacceptable. This can be addressed through amendments to better arrange the unit locations for solar access, potentially moving stair locations if necessary and/or will require changes to lift locations
- Podium communal space has the potential to work with the public/private domain interface along the northern boundary provided the wall treatment is sensitively expressed. The preDA scheme presents a blank service wall that is proposed to have terraced landscape to break it down. However, the site plan indicates there is insufficient setback proposed to successfully resolve this. There is also potential for a rooftop terrace that could achieve wonderful amenity
- The proposed pedestrian ramp leading from the Pacific Highway to the primary residential entries appears to conflict with the preDA resolution of the supermarket back-of-house headroom and arrangement of services. The ramp is also required to achieve compliant accessible gradients and there appears to be approximately 3+metres height to be transitioned from the footpath to the podium that is likely to clash with the existing through-site pathway that straddles Council land and the subject site
- (k) Floor to Floor height
- 3.2m is supported. This will allow for structural depth, services, set-downs to balconies. Note the podium will require structural depths to accommodate soil depth for significant tree planting, other landscape planting, and importantly, falls to drainage.
- DA documents generally will need to show realistic structural depth in all section drawings that accommodates all set-downs to balconies and terraces that will achieve falls to drainage outlets, effective water-proofing, roof falls to drainage, and pay attention to balconies or roof terraces that have internal spaces of dwellings below.
- (I) Architectural character
- Detailing of facades critical to achieving a good aesthetic.
- DA to include 1:50 or 1:20 façade details showing junctions of materials and edge details in section
- Materials palette to be predominantly low-maintenance, durable particularly in the harsh location and to create places that encourage positive pedestrian experience and interaction

- Note choice of cladding complies with BCA for fire safety. Non-combustible materials rather than fire engineered alternative solutions, to avoid potential future risks.
- Large areas of painted render will not be supported.
- Large areas of unarticulated wall planes or slab edges and building elements devoid of detail will not be supported.
- Quality of façade detailing is also critical for controlling weathering of the external skin over time so the building retains its character and maintenance costs are minimized for future residents, and the building is able to age well.

<u>Heritage</u>

- The site is not a heritage item but is adjacent to the Council Chambers that are locally heritage listed and is located opposite the former School complex that is heritage listed.
- The site is also located on a corner, has a steep slope from front to rear and forms a key part of the Gordon shopping centre. The site is pivotal in the area.
- Historically the site accommodated a motor garage that was completely removed to construct the current commercial building. The site was extensively excavated except at the eastern end and the current building was set well back from the Highway alignment. This provided for a landscaped front setting that has worked well in providing a setting for the adjacent and nearby heritage items. This setting establishes a precedent for the site in terms of how the frontage may be designed.
- Apart from one palm tree (refer to landscape assessments) the landscape setting is not of heritage significance except that it provides a setting and screens the building on the site.
- The key heritage issues on the site are the interface and contextual fit of a new building with the adjoining heritage buildings and also the broader Gordon shopping centre. It is assumed that the final design will be compliant and if not will only do sot to allow for a better urban form and overall concept.
- Conceptually locating the mass of the building to the south of the site and providing space between that and the Council Chambers has advantages provided the spaces created have value. It is not the only way to approach the site but a simple building form has urban design advantages in such a prominent site.
- An important design element is how the Pacific Highway frontage is addressed as this is the property address and the pattern of development along the highway, including the heritage items, is to strongly address the street. The site is complicated as it has a side street and a rear lane but these are subservient in importance to the main frontage.
- While the presented proposal addressed the corner of the site and the link to the shopping centre, it does not address the highway or provide an urban setting that extends to the frontage of the council chambers. This is an essential consideration in creating the urban form that responds to the heritage vales of the adjacent sites.
- Similarly if public space is to be created, and there are advantages in extending the space from the council chambers across this site, it has to have a clear design relationship that creates a 'frontage' to the site. Landscape needs to be integrated with the design as a key element. It appears (noting that the sketches are very preliminary) that landscape is added as a fill to spaces rather than a determiner of how the access and movement across and through the site frontage can take place. It is suggested that design resolution of the urban interface will resolve arrange of design issues across the site.
- Similarly the way a raised podium functions in terms of public and private space and how these interact with potential private open space of apartments appears unresolved and to

some extent unworkable. This also relates to how the residential and commercial elements of the building are addressed in terms of approach and address. Both are important elements of the site development and require a considered design approach.

- The location of lifts with overruns and a solid massing in the corner of the site adjacent to the council chambers would appear problematic from a site design and urban and heritage perspective. This is clearly a functional decision (similar to the stair and lift at the frontage) however, while commercial layouts are important, the site requires a sophisticated design response to setting, linkages and overall form of the building that is likely to require a different approach to functional layouts.
- A further submission will need to provide good site analysis, an approach to setting and urban design that draws on the heritage setting, consideration of materials, make clear how public and private space is to operate, create a Pacific Highway address that is appropriate to the two functions within the building, address the connections that exist and need to be enhanced between the shopping centre and the council building and address how scale is managed in relation to the street frontages and the heritage buildings.

Conclusion

While the pre-DA meeting and these comments attempt to identify significant issues during the initial phases of design, these comments do not have the benefit of a full planning assessment and should not be considered exhaustive.

Council's <u>DA Guide</u> is available on line and is a comprehensive, step–by- step, guide to what you need to know and do before lodging an application. Included in this guide, is a matrix which identifies the required plans, documentation and other material for different types of development. This matrix is enclosed for your ease of reference to identify your application requirements. By providing all the required plans and information, you will enable us to deal with your application more quickly. Your application will not be accepted if it does not include all relevant information.

We hope that this advice assists you. If you have any further enquires please contact Adam Richardson on 9424 0772 during normal business hours.

H. Deegan.

HELEN DEEGAN CONSULTANT PLANNER ON BEHALF OF KU-RING-GAI COUNCIL

DATED: 24/7/2017

DISCLAIMER

The aim of pre development application consultation is to provide a service to people who wish to obtain the views of Council staff about the various aspects of a preliminary proposal, prior to lodging a development application (DA). The issues raised can then be addressed or is at least known, prior to lodging a DA. This has the following benefits: -

- Allowing a more informed decision about whether to proceed with a DA; and
- Allowing matters and issues to be addressed especially issues of concern, prior to lodging a DA. This could then save time and money once the DA is lodged.
- All efforts are made to identify issues of relevance and likely concern with the preliminary proposal. However, the comments and views in this letter are based only on the plans and information submitted for preliminary assessment and discussion at the pre DA consultation. You are advised that: -
- The views expressed may vary once detailed plans and information are submitted and formally assessed in the development application process, or as a result of issues contained in submissions by interested parties;
- Given the complexity of issues often involved and the limited time for full assessment, no guarantee is given that every issue of relevance will be identified;
- Amending one aspect of the proposal could result in changes which would create a different set of impacts from the original plans and therefore require further assessment and advice;
- This Pre-DA advice does not bind Council officers, the elected Council members, or other bodies beyond Council in any way whatsoever.

DA LODGEMENT REQUIREMENTS MATRIX

Mixed use development	Hospitals	Tennis courts	Swimming pools	Subdivision	Single (new) dwellings	Signage	SEPP Seniors Housing	Residential flat buildings	Landscaping	Front fences	Dual occupancies	Commercial/business/retail	Change of use	Carports and garages	Alterations and additions	★ Indicates that this item may be required under certain circumstances. Full details are provided in our DA Guide or call our Duty Planning Officer for assistance.	
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ai Council - Development Application Guide



Planning a sustainable renovation of your home?

We are offering a \$200 rebate towards you engaging an independent sustainability assessor to review your building or renovation plans, before they come to Council for approval. This will help you identify opportunities for improving comfort, efficiency and ongoing cost savings before construction begins.

QUICK - ONLY A LIMITED NUMBER OF REBATES AVAILABLE!

Question? Contact 9424 0972 or email jshankar@kmc.nsw.gov.au

Learn more about the rebates: kmc.nsw.gov.au/sustainabilityrebate

REBATES FOR HOME SUSTAINABILITY ASSESSMENTS

As part of a pilot program, Council is offering a limited number of \$200 rebates towards the cost of engaging an independent sustainability assessor to review any building or renovation plans which

require Council approval. For more details of this program and list of participating ABSA-accredited assessors, refer to <u>this link</u>.

PRE-DEVELOPMENT APPLICATION Meeting 2 held 13th September 2017

COMMENTS

APPLICATION NO:	PRE0057/17								
ADDRESS:	810 Pacific Highway, Gordon								
DESCRIPTION OF PROPOSAL:	Demolition of Existing and Construction of a Mixed Use development, basement car parking, supermarket and shop top housing.								
PRESENT AT	Council								
MEETING:	Name		Title						
	Helen Dee	gan	TPG D	irector Plannin	ng				
	Kathy Haw			evelopment E					
	Paul Davie				itects Heritage				
	Kerry Hunt	ter		Irban Design	Š.				
	Adam Rich			own Planner					
	Richard Ki	nninmont	KMC T	eam Leader					
		Applicant's	s repres	entatives					
	Name		Capac						
	Jon Kenne			Corporate Property Director					
	Claire Mui	r	RPS						
	Steven Ge	offrey	Leffer S	Simes Arhctects					
	Rowan Gie	etz	Leffer S	Simes Archited	cts				
PLAN	Plan no.	Plan description		Drawn by	Dated				
REFERENCES:	DA01	Car Park Level 3		#SJ	25/08/2017				
	DA02	Car Park Level 2		#SJ	25/08/2017				
	DA03	Car Par Level 1		#SJ	25/08/2017				
	DA04	Loading Dock		#SJ	25/08/2017				
	DA05	Ground Floor		#SJ	18/08/2017				
	DA06	Level 1		#SJ	18/08/2017				
	DA07	Level 2		#SJ	18/08/2017				
	DA08	Level 3		#SJ	18/08/2017				
	DA09	Level 4		#SJ	18/08/017				
	DA10	Level 5		#SJ	18/08/2017				
	DA11	Level 6		#SJ	18/08/2017				
	DA12	Level 7	#SJ	18/08/2017					
	DA13	Street Elevation		#SJ	18/08/2017				
	DA14	Side and rear elevat	ion	#SJ	18/08/2017				
	DA15	Section Sheet 1		#SJ	18/08/2017				
	DA16	Section Sheet 2		#SJ	18/08/2017				
	DA17	Perspective View		#SJ	18/08/2017				
	DA18	FSR Calculations		#SJ	18/08/2017				
	DA19	Site Development A	nalysis	#SJ	18/08/2017				

	DA20	Height Plan Study		#SJ	18/08/2017
	DA21	Height Plan Study		#SJ	18/08/2017
	DA22	Streetscape Elevation	on	#SJ	18/08/2017
DOCUMENTS/REP	Document	t(s)	Dated	·	
ORTS:	Nil				
KEY ISSUES:	 require having servicir Height (Local require demon as a re design) Floor S to the p through enviror variatic provide FSR of instance design Heritag locatec Ground KLEP 2 Minimu clause Other issue <u>Traffic careful access</u> <u>Urban Highwa issues</u> The bu becaus conside surrour precince centre B2 zon 	sibility: Application to ments and definition of residential storage or ng. of buildings: refer to of Centres) (KLEP 2012 d to be justified throug strate additional envir sult of any variation to merit. Space Ratio: refer to of prescribed floor space in a clause 4.6 application on to the standard. Ad a calculation sheet il the site. Noting that of the site. Noting that of the site. Noting that of the site proximity to d floor development in 2012. Im street frontages for 6.7 of KLEP 2012.	of shop t n same le clause 4.4 (chan clause (chan clause	op housing. C evel as retail I 3 of Kur-ring- ion to prescrib use 4.6 applic al and plannin ndard. This in 4 of the KLEP required to be st demonstrat hieved as a reas ng and storage culation. This i P 2012. The se a tem I17 (Co se zones: refe business zone ents. Plans to se to/from Dur enerally impro tscapes, how ban Design c ic domain ado d', has heritage the urban stru- esidential, an minent corner	Consider issue of oading and gai LEP 2012 bed height is ation. Must g merit achieved cludes urban 2012. Variation e justified e additional esult of any ft is required to included in the ge area in some includes urban subject site is uncil Chambers) r to clause 6.6 of es: refer to o demonstrate maresq St and ved the Pacific ever there are omments below. dress on all sides ge icture of d public r site within the pe for the 3.0:1

EXECUTIVE SUMMARY

Zone:	B2 Local Centre
Permissible Development:	Shop Top Housing permissible with Consent however proposal must ensure ability to demonstrate compliance with definition.
Relevant Environmental Planning Instruments & Codes	Ku-ring-gai LEP 2015 & Ku-ring-gai DCP Ku-ring-gai LEP (Local Centres) 2012 and Ku-ring-gai Local Centres DCP 2015 Section 94 – Development Contribution Plan Plans of Management SEPP 19 – Bushland in urban areas SEPP 55 – Remediation of land SEPP 64 – Advertising and signage SEPP 65 – Design quality of Residential Apartment Development SEPP (BASIX) 2004 SEPP (BASIX) 2004 SEPP (Sydney Harbour Catchment) 2005 SREP 20 (Hawkesbury Nepean River) SEPP (Infrastructure) 2007

Specific Concerns

Site affectation	Application:
Visual character study category	Not categorised on map
Easements/rights of way	Nil
Heritage Item - Local	No
Heritage Item - State	No
Heritage conservation area	No
Within 100m of a heritage item	Yes
Bush fire prone land	No
Natural Resources Biodiversity	No
Natural Resources Greenweb	No
Natural Resources Riparian	Νο
Within 25m of Urban Bushland	No
Contaminated land	Yes
Within 25m of Classified Road	Yes
Within 25m of a rail corridor/tunnel	No

COMMENTS

As discussed at the meeting our assessment has revealed a number of issues which will require an amended design. It is recommended that the following issues be addressed before proceeding with the lodgement of a formal development application:

Town Planning

KLEP 2012 clause	Description	Comment
Land use	Permissibility	Demonstrate building design can satisfy shop top housing definition especially in relation to multiple street frontages. ambiguity over definition of development.
4.3	Height of buildings	Refer to clause 4.3 of Kur-ring-gai LEP 2012 (Local Centres) (KLEP 2012). Variation to prescribed height is required to be justified through a clause 4.6 application. Demonstrate no additional impact as a result of the variation and in fact must demonstrate additional environmental and planning merit achieved as a result of any variation to the standard.
4.4	Floor Space Ratio	Refer to clause 4.4 of Kur-ring-gai LEP 2012 (Local Centres) (KLEP 2012). Variation to prescribed floor space ratio is required to be justified through a clause 4.6 application. Must demonstrate additional environmental and planning merit achieved as a result of any variation to the standard. Additionally, the applicant is required to provide a calculation sheet illustrating those areas included in the FSR of the site. Noting that car-parking and storage area in some instances maybe included in the calculation.
5.10	Heritage	Heritage: refer to clause 5.10 of KLEP 2012. The subject site is located in close proximity to Heritage Item I17 (Council Chambers). Evidence of how the plans have taken into consideration the relationship of the buildings in this context is to be provided.
6.6	Ground floor development in business zones	Ground floor development in business zones: refer to clause 6.6 of KLEP 2012. Site is located in a B2 zone.
6.7	Minimum street frontages for lots in business zones	Minimum street frontages for lots in business zones: refer to clause 6.7 of KLEP 2012. Site is located in a B2 zone.

Main DCP Controls

DCP Parts applicable (Ku-ring-gai DCP (Local Centres)

- Part 8 Mixed Use Development
- Part 12 Signage and Advertising
- Part 14 Urban Precincts and Sites- Gordon
- Part 20 Development near rail corridors and busy roads
- Part 21 General Site Design
- Part 22 General Access and Parking
- Part 23 General Building Design and Sustainability
- Part 24 Water Management

Specific Considerations

DCP control	Comment
Part 14 D.4	15m setback to Pacific Highway, 3m to Radford Place
Setbacks	
Part 14 D.9 Civic	Zero setback to all boundaries in B2 zone (with the exception of the
Hub	above)
	Principal active frontage along Pacific Highway
	Vehicular access via Radford Place
Part 8 C.8	Communal Open Space plan to be provided pursuant to Part 8 C.8 of
Communal Open	the KDCP 2015. Specific controls are included below.
Space	A minimum of 10m2 of communal open space per dwelling is to be
	provided. This can be provided on the podium or roof area.
	At least one single area of Primary communal open space for the
	residents is to be provided with the following requirements:
	i) a minimum area of 80m2; and
	ii) a minimum dimension of 8m; and
	iii) access to direct sunlight for at least two hours between 9am and
	3pm on 21st June, to at least 50% of the space, and
	iv) directly accessible from the internal common circulation/lobby
	area.

Further comments – Noting some are a repeat of previous comments as they remain relevant.

- Two Clause 4.6 variations need to accompany the development application if the applicant seeks to vary the Height and FSR development standards applicable to the site.
- There is an expectation that documentation submitted at DA stage will consider the external façade treatments, renders of look and feel of building.
- The amended design has provided a better visual connection between the Council Chambers and access to the through site link the edge of the garden bed at the north-eastern corner of the site. See comments under 'built form' below.
- Replanting the palm on site is acceptable. Procedural and management strategies need to be explored to ensure the long-term viability of the palm.
- The proposal should acknowledge the desire and need to promote pedestrian linkages to the adjacent Gordon Centre. Key issues for urban design/ streetscape along Pacific Highway.

- Site is located within a unique civic heritage precinct which is currently undergoing a master planning exercise. While the outcome of this review cannot be predetermined, the proposals need to give consideration to its significant position within this precinct. The proposal is to consider how it may be able to coordinate/ integrate within a future master plan.
- Building materials are to be low maintenance and there is a need to utilise materials that weather well over time, meaning that painted surfaces are discouraged. Need to blend in with landscape to create landscape character with public setting to create places that encourage positive pedestrian experiences and interactions.
- Consider provision of economic advice on need for retail space in the locality to be submitted with DA.
- Acoustic report is required to manage internal issues.
- Requires RMS referral (Clause 104 of ISEPP, traffic generating development).
- Requires referral to WaterNSW.

See sections below for more details in regard to

- Landscaping and the location of Services,
- Engineering including water management, traffic vehicular access and parking, waste management and servicing, construction traffic management, subsurface investigation and stratum/start subdivision.
- Urban Design, built form and Heritage.

Landscape comments

The concept sketch of the landscaped space on the northern side of the development appears to be well designed in relation to access and creating spaces for communal use.

The following issues are to be addressed:

- To provide a better visual connection between the Council Chambers and access to the through site link, the edge of the garden bed at the north eastern corner of the site should be curvilinear in shape
- See notes below in relation to the Canary Island palm
- All garden beds located on structures or podiums shall comply with Table 5 of Part 4P of the Apartment Design Guide.
- The plan shall comply with the controls and objectives outlined in Part 2D of the Public Domain Plan.
- View corridors along the Pacific Highway to the Council Chambers are to be enhanced and protected. Careful consideration should be given to the planting within the Aldi forecourt area and the proposed landscape space on the northern side of the site so as to not totally block the view of the Council Chambers.
- Four (4) x *Pyrus calleryana* 'Capital' (Capital Callery Pear) are to be planted on the nature strip along Dumaresq Street between the Pacific Highway and Radford Lane.
- The planting on the site shall be predominantly exotic species characteristic of the adjoining heritage item.

Phoenix canariensis (Canary Island Palm)

• The transplanting of the Palm on site is acceptable.

The following issues are to be addressed to ensure the long-term viability of the palm;

- The placement of the palm is to be carefully considered in relation to the canopy width which is approximately 10 metres
- Seek the advice of a specialist transplanting company in relation to the timing required to remove, store and transplant the palm back on site.
- The garden bed nominated for the transplanted palm is to be of sufficient dimensions to allow for the root ball of the palm to be successfully planted
- The specialist transplanting company are also to provide and implement a maintenance program to ensure the on-going viability of the palm

Services

Fire Hydrant/Sprinkler Booster Assembly and Gas Regulator

The proposed location of the fire hydrant / sprinkler booster assembly and gas regulator on the Pacific Highway boundary will have adverse amenity impacts on the streetscape.

- The applicant shall seek the advice of the fire regulator in relation to the options available for the location of these services.
- Ideally from a streetscape amenity perspective the services should be located along the Dumaresq Street or Radford Place setbacks.

• If the services are required to be located within the Pacific Hwy setback then they are to be fully enclosed and located in an area of the forecourt that minimises the amenity impacts on the streetscape

Grease Arrestor

To minimise the impact on the streetscape the grease arrestor is to be installed below ground.

Engineering comments

Water management

Planning for water management should have already commenced. The development will require on site detention, retention and re-use of runoff, as well as water quality measures. Controls are given in Part 24 of the Local Centres DCP. There must be adequate space in the building for the required tank(s) and to achieve gravity drainage to the public drainage system.

Traffic, vehicular access and parking

- The development will be referred to Roads and Maritime Services. If it is of a scale listed in Schedule 3 of the SEPP (Infrastructure) 2007, then the concurrence fee should be lodged with the DA (see Clause 252A of the Environmental Planning and Assessment Regulation 2000).
- Radford Place is the logical frontage for vehicular access. The traffic report is to give an estimate of traffic generation for the development and its effect on through traffic to the two neighbouring buildings and vice versa. Pedestrian and vehicular sight distances are to be assessed, as well as any queuing effects.
- The report is also to address traffic generation in Dumaresq Street, particularly in the context of the offset exit from the Gordon Centre carpark opposite. Intersection analyses for all affected intersections are to be included.
- Parking rates are given in the Local Centres DCP. The traffic engineer's report should also confirm compliance with the geometric requirements of *AS2890.1:2004 Off street car parking*. Parking spaces are to be dimensioned on plans.
- Turning path diagrams for the largest delivery vehicle must be shown on a plan, and any parking restrictions required in Radford Place to accommodate these movements must be identified by the traffic engineer. Support for such restrictions, which require traffic committee approval, cannot be guaranteed.

Waste management and servicing

Controls for waste management are outlined in Part 23.7 of the Local Centres DCP.

• For residential waste, an area for waste storage and collection must be provided in the basement, large enough for containers to be manoeuvred during collection and accessible by Council's small vehicle. The plans are to demonstrate a maximum

gradient of 20% and minimum headroom of 2.6 metres along the path of travel and a standing and turning area for the small vehicle. A longitudinal section along the entry driveway is also to be provided.

- Council's commercial waste collection requirements are also given in Part 23.7 of the DCP. The minimum headroom for commercial collection is 4.5 metres. It appears that the vehicle to be accommodated in the loading dock will exceed Council's requirements.
- A loading dock management plan should be included with the DA. This can be in the form of a standard written document outlining hours of access etc.

Construction traffic management

- An indicative Construction Traffic Management Plan is to be provided. The plan is to include construction vehicle routes, site entry and exit points and turning paths for construction vehicles entering and leaving the site.
- Matters to be addressed include management of through traffic and pedestrians in Radford Place, location of materials stockpiles and site sheds as well as provision for crane and concrete pump standing.

Subsurface investigations

- A geotechnical engineer's report is required, which is to address such matters as excavation methods and support, vibration monitoring and dilapidation survey of nearby structures. Roads and Maritime Services may have requirements for continued support of the Pacific Highway.
- There is a mapped riparian zone within about 70 metres of the site, so the report should also state whether any groundwater was encountered above proposed basement level and whether construction dewatering requiring an aquifer interference approval will be required. If this is the case, the development will be integrated to WaterNSW.
- The environmental reports are to specifically confirm that the site is or can be made suitable for the proposed residential development.

Stratum/ strata subdivision

- Stratum subdivision is a form of Torrens title subdivision, the purpose of which is to separate different uses within a building. If stratum subdivision is proposed as part of the DA, then plans are to be submitted (coloured plans make it easier to distinguish the different uses). The "subdividing land" box on the DA form should be ticked and stratum subdivision included in the description of the development.
- Strata subdivision of the residential component will probably not be included in the DA, since a private certifier can issue an approval for strata subdivision and may developers prefer to arrange this while the building is under construction. If strata subdivision is to be included, the "subdividing a building into strata lots" box should be ticked on the form, strata plans submitted and strata subdivision included in the description.

<u>Urban Design</u>

- (a) General
 - See ADG PreDA checklist; and Part 3A Site Analysis requirements note diagrams shown in Part 3A, plan and section. This will be important to establish due to the three street frontages and heritage adjacency. The building needs to provide a public domain address on all sides because it will be viewed 'in the round', has heritage considerations, needs to respond to the urban structure of surrounding context of commercial, residential, and public precincts, the visibility of being a prominent corner site within the centre of Gordon.
 - Site analysis needs to be consistent with SEPP 65 and is required to establish the foundation against which to test the design response as per previous point
 - Important consideration for supporting urban design: merit of cl 4.6 variations to development standards
 - Ensure all DA documents are properly dimensioned so that all room widths and lengths, wall lengths and setbacks properly locate the building on the site and not subject to ambiguity post DA. This is required to enable a full assessment without the need for requesting time-consuming supplementary information during DA assessment. It is needed to confirm the location of the building on the site; to describe the proposed articulation; demonstrate minimum room sizes, private open space, and for all accessible housing requirements. A DA will need to comply with EP&A Regulation at Schedule 1 Part 1 clause 2 subclause (3)(b)(c) to provide fully dimensioned architectural plans and sections.
- (b) Context

Amendments have generally improved the Pacific Highway and Dumaresq Street streetscapes.

Issues to be further resolved:

- Corner is to be improved with relocation of egress stair.
- However, the location of the egress stair does not seem to align with the loading dock level below. Clarified by proponent that a mezzanine corridor is in basement below.
- Resolution of egress stair location also requires further work due to flow-on issues of path of travel from lift to ALDI entry and location of the trolley store. All appears quite awkward and create a significant and unpleasant pinch point. There is a conflict with the overall scale of the building, the resolution of the public/private domain interface, the primary use of the ground floor level and where the majority of pedestrian traffic will be entering ALDI (and where the pedestrian desire lines could be better resolved with the supermarket operations).
- Through-site link being retained is supported. This still needs coordination with Council for detailed resolution.
- Generally, the sought variation to the 15m setback along the Pacific Highway (KDCP_LC Urban Precincts) remains supported on urban design grounds but still needs to be coordinated with Council's engineering requirements for future road upgrades (should there be any), with landscape for tree retention,

and heritage considerations.

- Resolution of the ground plane is improved but requires clarification of the supermarket passenger lift over-runs, which remain very close to the Pacific Hwy boundary.
- Additional section of the public/private domain interface relationship at the passenger lifts to be submitted with future concept sketches and in DA. (The pre-DA landscape sections were ambiguous with the lift over-run/ground levels/ soil depth above structure etc)
- Relationship with the Council Chambers building is on the right track with proposed site arrangement so that view corridors can be maintained. (Also see comments on built form.) The elevated residential entry walkway needs further resolution. This may be a good space to accommodate hydrants and other services.
- Frontages are better activated, although the address to the Pacific Hwy still needs resolution with the fire egress stair, trolley location and path of travel from the lift to the supermarket.
- Activation of the Highway frontage and corner with Dumaresq St is improved. Relocating the palm is supported on urban design grounds if it can be achieved. Location of columns require careful consideration and coordination with the public domain design.
- Topography along the highway frontage is slightly falling from north to south and the ground floor is significantly below the existing ground plane which impacts on the visibility of the primary commercial frontage. Can this be improved and to appear more open.
- Supermarket entry still needs more work to define the corner and make it more inviting. Create a character that defines the corner.
- Amendments have improved the Dumaresq St/Radford Place corner with a second retail frontage and secondary residential entry both are positive elements.
- Consider the visibility of all corners, effect of falling topography on visibility of the building, its presentation in the streetscape, and how it engages at ground level. It's a building that will be viewed in-the-round, from all angles (low to high and high to low)
- Elevations still need to show how the building will sit in the streetscape beyond the site; it is not a site in isolation.
- (c) Built form
 - Height remains as exceeding the LEP maximum. Motivation appears to be in seeking maximum FSR. On its own, this is insufficient reason from an urban design perspective to accept the variation. Such a variation would require an outcome for the public domain that goes beyond the requirements outlined previously and/or very successfully resolves them, overall communal and private amenity must exceed satisfactory as must the building aesthetic.
 - General comments: Highway alignments of building mass remain unconvincing. Too busy with too many steps of alignments and overall reading of the mass that lacks fineness and creates an unnecessarily bulky form.
 - As proposed, the highway massing currently results in a form that does not relate to the heritage item view corridors, setting up a legible building alignment geometry between the two sites and which then helps resolve the divergent building scales etc. Discussed amendments to the NE corner unit

layout that will better address excessively bulky reading of the building and enable more natural light to reach the common lift lobby by increasing the width of the proposed slot.

- Amendments have better resolved the podium above ground along the northern and eastern boundaries to rearrange the back-of-house/services and/or basement layouts. More work to create some texture and depth to the podium walls generally. Suggestions such as a series of vertical blades that follow the supermarket level around the Dumaresq St wall treatment and extending around the building to create horizontal datums. This will help reduce the perception of bulk in the streetscape by creating a more interesting and sculptural form as the podium increases height down the hill and around to Radford Place.
- As previously noted, it will be a highly visible building so there opportunities to propose different alignments of built form for the base/podium and upper level residential block which may assist with addressing the public domain and context issues. Needs to be resolved in-the-round, not treating each elevation as a separate flat wall plane.
- Creating a hierarchy of building elements, façade composition integrated with the internal layout, and the materials palette will need to be carefully resolved.
- A 3-D height plane diagram now submitted demonstrates areas of compliance or non-compliance.
- FSR accommodating the additional height is approximately 5 dwellings. At this stage, the development does not present valid urban design reasons for supporting the excess.
- Meeting discussed permissibility as 'shop top' housing. Amendments to the Loading Dock level required to be consistent with Council's legal advice. This will enable improvements to the secondary residential entry from Dumaresq St and resolution of the basement egress stair position.
- Massing of top floor should be well inboard of the building edge on all sides east and north to be further considered. (Unit amenity is good but built form requires more work)
- Roof form appears heavy and not well integrated with the overall architectural design of the building below. Needs deep eaves so massing recedes into shadow and roof form is defined as an element. It must be well integrated as a building element, and not appear tacked on or merely just following the perimeter of the floorplan.
- The pergola element also is unsuccessfully resolved.
- (d) Density
 - Please note that the B2 zone anticipates a retail/commercial building type for the 3:1 FSR. A predominantly residential building type is inherently different and therefore may not achieve maximum permissible FSR. The excess FSR being sought is not supported with current proposal.
 - Achieving required SEPP 65 amenity cl 6A in its entirety necessary as a minimum in future urban design support of variations to Height and FSR in terms of sought yield.
- (e) Noise
 - Noise barrier planning principles to be demonstrated. Not resolved with bedrooms addressing the highway and will remain a conflict likely only able to be resolved through acoustic treatment of the facades.
 - Note requirements of KDCP_LC Part 20 for development along noise

corridors.

- (f) Solar access
 - Amended PreDA documents indicate solar access can easily meet SEPP 65 cl 6A(b)

Including those units receiving no solar access, which now satisfies SEPP 65 cl 6A(b). Note, there are no site constraints that would prevent achieving 100% compliant solar access; therefore variations will not be accepted from an urban design perspective.

- (g) Cross ventilation
 - Able to be achieved
- (h) Landscape
 - Retention of significant trees required for urban character subject to requirements of Council's landscape officer
 - This is likely to be important to the heritage significance being retained subject to the heritage consultant's requirements.
 - Proposed relocation of the corner palm is supported on urban design grounds.
- (i) Communal spaces
 - Amendments have provided all lift lobbies at all levels with natural light and ventilation.
 - The proposed dog-legged corridors remain an issue at the ground floor level in particular. Localised amendments to the layouts of apartments so the main entries are closer to the lifts and are not so deeply buried internally from the entry points appear possible.
 - Podium communal space is still supported and retains potential to work with the public/private domain interface along the northern boundary provided the wall treatment along the highway is satisfactorily resolved with the lift over-run.
 - There remains potential for a rooftop terrace that could achieve wonderful communal amenity free of noise and open to cityscape views to the west.
 - The entry ramp resolution appears able to achieve compliant accessible gradients and there appears to be approximately 3+metres height to be transitioned from the footpath to the podium that appears able to be resolved with the existing through-site pathway that straddles Council land and the subject site.
- (j) Floor to Floor height
 - 3.2m is supported. This will allow for structural depth, services, set-downs to balconies. Note the podium will require structural depths to accommodate soil depth for significant tree planting, other landscape planting, and importantly, falls to drainage.
 - DA documents generally will need to show realistic structural depth in all section drawings that accommodates all set-downs to balconies and terraces that will achieve falls to drainage outlets, effective water-proofing, roof falls to drainage, and pay attention to balconies or roof terraces that have internal spaces of dwellings below, and for proposed landscape above structure.
- (k) Unit layout
 - Amended documents now provide detailed layouts and dimensions

- Two lift cores and dual aspect units are supported should be able to achieve good adequate amenity (Noise likely to be the biggest issue)
- Note SEPP 65 indicative layouts in the ADG are spatially efficient. Proposed units will need to be equally efficient if seeking the minimum unit sizes which appears to be satisfied with the dimensioned plans
- Minor amendments required so that bedroom and bathroom access is from a corridor or alcove and not opening directly into the kitchen or living areas
- Unit 104 has a deep dark space that could be just an error and should be a bathroom but needs to be clarified. Also its Bed 1 could be improved, not particularly satisfied about the internal living room either
- only 1 fully south-facing unit per floor which is acceptable.
- POS appears to be easily achievable and have been dimensioned on drawings.
- (I) Architectural character
 - Detailing of facades is critical to achieving a high aesthetic quality.
 - DA to include 1:50 or 1:20 façade details showing junctions of materials and edge details in section
 - Materials palette is to be predominantly low-maintenance, durable particularly in the harsh location and to create places that encourage positive pedestrian experience and interaction. Proposed cladding to be painted will require higher levels of maintenance and should be reconsidered.
 - Note choice of cladding complies with BCA for fire safety. Non-combustible materials rather than fire engineered alternative solutions, to avoid potential future risks.
 - Large areas of painted render will not be supported.
 - Large areas of unarticulated wall planes or slab edges and building elements devoid of detail will not be supported.
 - Quality of façade detailing is also critical for controlling weathering of the external skin over time so the building retains its character and maintenance costs are minimized for future residents, and the building is able to age well.
 - Podium façade is improved but could be further modeled along the Dumaresq St and Radford PI elevations so it achieves a texture and depth rather than the rather flat wall plane proposed.
 - Discussions around possible options for creating horizontal datums around the building to be explored. Podium viewed in-the-round needs continuity of composition as element round the corners of each elevation.

<u>Heritage</u>

The proposal has addressed a number of issues that were raised and has set out a generally more resolved design approach. The concept of building to the south of the lot and leaving space to the north is sound. The required footprint of the Aldi store and its associated elements however places considerable design constraints not he site that are clearly proving difficult to work with. Lowering the service lifts has assisted and adding a ramp to the upper level also assists however there remains a significant disconnect between the entry to the store, the Pacific Highway frontage and the access to the residential section. There is a loss of open space seen in the current site layout and the creation of a not well defined landscaped podium (that is the way in which it can be positively used is not clear as it is an access way fronting private open space for ground floor units. Without changing the floor plate of the store it is hard to see how these elements can resolve.

Detail matters around the site are:

- conflicts in the design of the frontage to the store with access from lifts, stairs, trolleys etc. It was suggested the arcade element be moved forward to relocate piers to the outer edge to open up more space for circulation.
- the void around the ramp needs to be resolved.
- the northern side stair requires a design treatment to the northern face of the new building where a large brick expanse is located, adding new elements, screening, etc could be developed to reduce the apparent scale of the wall.
- relocating the tree appears a reasonable outcome to resolve the corner of the site.

Detailed comments on the building design were provided. In particular, the length and shape of entry lobbies is problematic and arises from having to locate lifts at the extremities off the building due to the floor plate below. In addition, entry passages need to be more generous, shorter, perhaps be truncated and have external awnings and cover to assist in managing the difficult site arrangement.

Discussion took place on the Dumaresq facade treatment of the lower part of the building and a number of comments were made:

- delete the recessed panels, express the high level windows that suit the store layout internally, possibly add string course elements to reinforce the horizontal proportion of the building in this area and generally arrange the facade as a designed element
- retain windows on the corner of the site near the entry
- possibly split the lower ground lift access points to add a mezzanine level to shorten travel distances and provide for an additional commercial space along that facade, this in combination with other compliance changes noted could provide usable lettable areas in Dumaresq Street. Ideally add windows to this facade to add to activation.

The overall building form was discussed and the following comments are made in relation to form and fitting the building into the context of the location with heritage items and retail activity:

- the building needs a more defined form to the Pacific Highway and main corner in particular with less cut away corners, balconies and corner columns. The use of stronger simple vertical forms in narrower proportion with an additional stepping of the main facade to reduce the present main frontage width and to open up the diagonal views to the site to accord with the sight line shown on the drawing would assist in creating a form that addresses the highway frontage more directly. While this is in part a detailed design exercise it reflects that this site is very different to other larger residential sites along the Pacific Highway where residential blocks are set into quite large landscaped settings with significant setbacks.
- This site is tight, commercially based and the building is built hard to two boundaries with considerable height and a steep land fall. The form, proportion and massing becomes critical and the building needs to read as less of a standard suburban apartment block and relate to tighter urban forms.
- The matter of height at present exacerbates the impression of built form and mass but additional height may not be a problem if the form of the building, the roof resolution and the scale of the building to the east (all facades however as well) is refined. Clues can be drawn from adjacent buildings where the pattern of solid and voids is not only traditional but creates strong building forms with solid edges clearly delineated wall planes etc.

• The present design is very fragmented and while this may have been a device to reduce scale, the resulting lack of a clear form has resulted unmaking the building read as probably larger than it is.

Conclusion

While the pre-DA meeting and these comments attempt to identify significant issues during the initial phases of design, these comments do not have the benefit of a full planning assessment and should not be considered exhaustive.

Council's <u>DA Guide</u> is available on line and is a comprehensive, step–by- step, guide to what you need to know and do before lodging an application. Included in this guide, is a matrix which identifies the required plans, documentation and other material for different types of development. This matrix is enclosed for your ease of reference to identify your application requirements. By providing all the required plans and information, you will enable us to deal with your application more quickly. Your application will not be accepted if it does not include all relevant information.

We hope that this advice assists you. If you have any further enquires please contact Adam Richardson on 9424 0772 during normal business hours.

H. Deegan.

HELEN DEEGAN CONSULTANT PLANNER ON BEHALF OF KU-RING-GAI COUNCIL

DATED: 18/10/2017

DISCLAIMER

The aim of pre- development application consultation is to provide a service to people who wish to obtain the views of Council staff about the various aspects of a preliminary proposal, prior to lodging a development application (DA). The issues raised can then be addressed or is at least known, prior to lodging a DA. This has the following benefits: -

- Allowing a more informed decision about whether to proceed with a DA; and
- Allowing matters and issues to be addressed especially issues of concern, prior to lodging a DA. This could then save time and money once the DA is lodged.
- All efforts are made to identify issues of relevance and likely concern with the preliminary proposal. However, the comments and views in this letter are based only on the plans and information submitted for preliminary assessment and discussion at the pre DA consultation. You are advised that: -

- The views expressed may vary once detailed plans and information are submitted and formally assessed in the development application process, or as a result of issues contained in submissions by interested parties;
- Given the complexity of issues often involved and the limited time for full assessment, no guarantee is given that every issue of relevance will be identified;
- Amending one aspect of the proposal could result in changes which would create a different set of impacts from the original plans and therefore require further assessment and advice;
- This Pre-DA advice does not bind Council officers, the elected Council members, or other bodies beyond Council in any way whatsoever.

DA LODGEMENT REQUIREMENTS MATRIX

Mixed use development	Hospitals	Tennis courts	Swimming pools	Subdivision	Single (new) dwellings	Signage	SEPP Seniors Housing	Residential flat buildings	Landscaping	Front fences	Dual occupancies	Commercial/business/retail	Change of use	Carports and garages	Alterations and additions	★ Indicates that this item may be required under certain circumstances. Full details are provided in our DA Guide or call our Duty Planning Officer for assistance.	
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ai Council - Development Application Guide



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plans which require Council approval. For more details of this program and list of participating ABSA-accredited assessors, refer to <u>this link</u>.

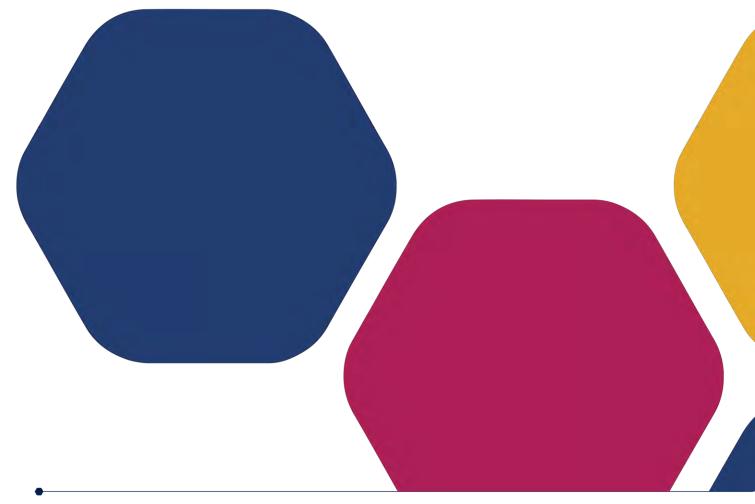
Report



JULY 2018

810 Pacific Highway, Gordon

Clause 4.6 Variation – Maximum Building Height



rpsgroup.com.au



Document Status

Version	Purpose of Document	Approved by	Reviewed by	Review Date
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3	Updated FINAL (Amended Plans)	JK	СМ	30/07/2018

Approval for issue

Name	Signature	Date
Claire Muir	nun	30/07/2018

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1.1 Introduction

This report has been prepared in support of a Clause 4.6 variation to the Height of Buildings controls within Clause 4.3 of the *Ku-ring-gai Local Environment Plan (Local Centres) 2012* (Local Centres LEP). This report has considered the following items applicable to the proposed development:

- Clause 4.6 of the Local Centres LEP;
- The objectives of Clause 4.3 of the Local Centres LEP;
- The objectives of the B2 Local Centre zone;
- "Varying Development Standards: A Guide" published by the Department of Planning and Infrastructure (August, 2011); and
- Relevant case law specifying the considerations for assessing development standards including Wehbe v Pittwater Council [2007] NSWLEC, Four2Five Pty Ltd v Ashfield Council [2015] NSW LEC, Micaul Holdings Pty Limited v Randwick City Council [2015] NSWLEC 1386; and Moskovich v Waverley Council [2016] NSW LEC.

This request for variation of the development standard provides an overview of the development standard and the extent to which the proposed works vary that standard. The variation is then assessed in accordance with Clause 4.6 of the LEP and the relevant principles of the court rulings.

The variation to the strict application of Clause 4.3 maximum height of buildings is considered appropriate for the proposed development as:

- The breach in height does not result in a breach of the maximum floor space ratio (FSR) of the site and the extent of the variation is minimal;
- The proposed development benefits the Gordon Local Centre through an additional anchor store increasing customers to Gordon;
- The design of the proposed development benefits the adjacent heritage listed Council Chambers through the landscaping of the 'green' buffer, Council's Landscape Officer has proposed specific plants which suit the Council Chambers setting;
- The design of the proposed development will not result in any detrimental impacts on local amenity or on any sensitive land uses such as open space or heritage items;
- The development will be in keeping with the desired future character of the Gordon local centre being a local retail hub complementing the existing Gordon Centre; and
- The site's proximity to local services, retail and the Gordon railway station means that it is in an ideal strategic location to increase population density within the Ku-ring-gai LGA.

1.2 Development Standard

Clause 4.3 Height of Buildings of the LEP specifies the following:

(1) The objectives of this clause are as follows:



(a) to ensure that the height of development is appropriate for the scale of the different centres within the hierarchy of Ku-ring-gai centres,

(b) to establish a transition in scale between the centres and the adjoining lower density residential and open space zones to protect local amenity,

(c) to enable development with a built form that is compatible with the size of the land to be developed.

(2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

The maximum building height is 26.5m as identified on the Height of Buildings Map. The steep slope of the site combined with a cross fall to the south west results in range of variances proposed. The maximum variation measured is in the middle of the southern elevation of 5.11m (19.2%). On the eastern & western elevation the variation is 0.9m (3%) as measured to the top of the lift shaft.



Figure 1 Pacific Highway & Dumaresq Street Elevations Demonstrating Variation



1.3 Clause 4.6 of the LEP

Clause 4.6 provides flexibility to vary the development standards specified within the LEP where it can be demonstrated that the development standard is unreasonable or unnecessary in the particular circumstances and where there are sufficient environmental grounds to justify the departure.

Clause 4.6 states the following:

(1) The objectives of this clause are as follows:

(a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,

(b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.

(2) Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.

(3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:

(a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and

(b) that there are sufficient environmental planning grounds to justify contravening the development standard.

(4) Development consent must not be granted for development that contravenes a development standard unless:

(a) the consent authority is satisfied that:

(i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and

(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and

- (b) the concurrence of the Secretary has been obtained.
- (5) In deciding whether to grant concurrence, the Secretary must consider:

(a) whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and

(b) the public benefit of maintaining the development standard, and

(c) any other matters required to be taken into consideration by the Secretary before granting concurrence.

Accordingly, justification is set out below for departure from the applicable controls of Clause 4.3 of the Kuring-gai LEP (Local Centres) 2012. The purpose of the information provided is to demonstrate that strict compliance with this standard is unreasonable or unnecessary in the circumstances of this proposal.



1.4 Clause 4.6 Assessment

This section assesses the proposed variation to consider whether compliance with the maximum building height requirements is unreasonable or unnecessary in the circumstance of this particular case, and whether there are sufficient environmental planning grounds to justify contravening the development standard.

The assessment is structured in accordance with the three matters for consideration identified in the Wehbe Land and Environment Court judgment:

- The applicant must satisfy the consent authority that "the objection is well founded" and compliance with the development standard is unreasonable or unnecessary in the circumstances of the case;
- The consent authority must be of the opinion that granting consent to the development application would be consistent with the policy's aim of providing flexibility in the application of planning controls where strict compliance with those controls would, in any particular case, be unreasonable or unnecessary or tend to hinder the attainment of the objects specified in s 5(a)(i) and (ii) of the Environmental Planning & Assessment Act 1979 (EP&A Act); and
- It is also important to consider:
 - Whether non-compliance with the development standard raises any matter of significance for State or regional planning; and
 - The public benefit of maintaining the planning controls adopted by the environmental planning instrument.

Consideration has also been given to the findings in the matter of *Four2Five Pty Ltd v Ashfield Council* [2015] *NSW LEC*, initially heard by Commissioner Pearson and upheld on appeal by Justice Pain. It was found that an application under Clause 4.6 to vary a development standard must go beyond the five-part test of *Wehbe v Pittwater* [2007] *NSW LEC 827* and demonstrate the following:

- Compliance with the particular requirements of Clause 4.6, with particular regard to the provisions of subclauses (3) and (4);
- That there are sufficient environmental planning grounds, particular to the circumstances of the proposed development (as opposed to general planning grounds that may apply to any similar development occurring on the site or within its vicinity); and
- That maintenance of the development standard is unreasonable or unnecessary on the basis of planning merit that goes beyond the consideration of consistency with the objectives of the development standard and/or the land use zone which applies to site.

An assessment of the variation to the maximum height of buildings requirement against the provisions of Clause 4.6 and the relevant case law is provided in the following sections.

1.5 Compliance is Unreasonable or Unnecessary

In the Wehbe judgement, Preston CJ set out five ways in which a variation to a development standard can be supported as follows:

1. The objectives of the standard are achieved notwithstanding non-compliance with the standard;





Figure 2 Land use zoning (Source: Ku-ring-gai Local Environmental Plan (Local Centres) 2012)

The height of building standard aims to "ensure a transition in scale between the centres and the adjoining low density residential and open space zones to protect local amenity". The building height proposed exceeds the control of 26.5m by 0.9m, however the development provides a transition between the adjoining Gordon Centre and is generally in accordance with the desired future character of the Gordon local centre.

As shown in **Figure 1**, the site of the existing Gordon Centre (south of the site on the opposite side of Dumaresq Street) has a maximum building height of 38.5m in the LEP. If future redevelopment of the Gordon Centre site was proposed, the redevelopment could build to this maximum height.

The standard also aims to "ensure that the height of development is appropriate for the scale of the different centres within the hierarchy of the Ku-ring-gai centres".

Beyond the site, along Dumaresq Street there is a transition to a high density residential zone, with many new apartment dwellings being built in proximity to Pacific Highway.

The proposed development provides an opportunity to both increase the amount of retail floorspace in the local centre to support the growing population and to increase the housing density in proximity to the Gordon railway station.

It is important to note that there no variation is proposed to the FSR of the site, with an FSR of 3.0:1 being maintained for the site. This suggests that the impacts of the non-compliance with the height control is negligible, particularly when considering the future character of the Gordon local centre and the expected population growth in the area.

The development will also increase the housing choice within Gordon and the Ku-ring-gai LGA, an area characterised by large amounts of established, low-density housing typologies. The increase in housing choice will meet changing household needs, lifestyle choices and population growth within the area.



The design of the development ensures that it does not detract from the heritage-listed Council Chambers located at 818 Pacific Highway. The unique design of the building with two ground floor levels that respond to the site's topography allows for a large portion of communal open space on the northern portion of the site. This space, coupled with the improved pedestrian link connecting Pacific Highway and Radford Place allows the development to make a bold new statement on its prominent corner position, while also protecting and maintaining the heritage value of the adjacent Council Chambers.

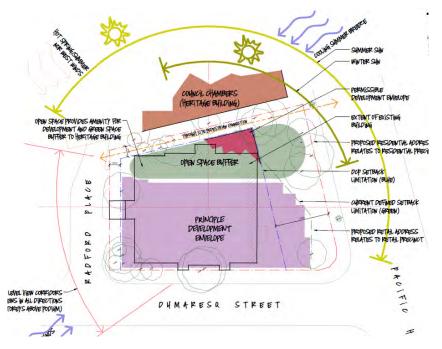


Figure 3 – Site Analysis Plan

A *Plan for Growing Sydney* aims to achieve future urban renewal from Hornsby to North Sydney via Gordon. The proposed development will do so, with its frontages to Pacific Highway and Dumaresq Street providing street activation and connection between the Gordon local centre and the growing high-density residential area to the west of the site.

The Ku-ring-gai population increased from 104,340 at the 2006 Census to 122,996 at the 2016 Census. The population within 2km of the Gordon local centre has increased by over 5,000 people or 26% since 2006 (source: *Supermarket Demand & Impact Assessment* prepared by Deep End Services, dated 27 September 2017). The site provides an opportunity to increase housing density in close proximity to public transport, with the Gordon railway station located approximately 300m from the site. This close proximity will promote public transport patronage and walking, another objective of the Local Centre zone.

This proximity to the railway station and to the Gordon local centre will assist in enhancing the liveability of Gordon by providing access to jobs, services and recreation for new residents, as well as access to the Greater Sydney region.

The Greater Sydney Commission's *Draft Greater Sydney Regional Plan* (2017) has developed housing targets for each of the five districts in Greater Sydney. Ku-ring-gai LGA is part of the North District, which has a target of 25,950 new dwellings by 2021 and 92,000 by 2036. The Ku-ring-gai LGA has a target of 4,000 new dwellings by 2021. The proposed development will increase the housing density in Ku-ring-gai and assist in achieving this housing target.



2. The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary;

N/A

3. The underlying object or purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable;

N/A

4. The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable;

N/A

5. The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone.

N/A

1.6 Adequate grounds for contravening the development standard

Clause 4.6 requires the applicant to demonstrate that there are sufficient environmental planning grounds to contravene the development standard. In this instance, there are strong planning grounds in support of the variation to the maximum building height control.

- The proposed development will fully comply with the objectives of the B2 Local Centre zone within which the site is located as it will:
 - provide employment opportunities in an accessible location;
 - maximise public transport patronage and encourage walking and cycling;
 - provide for residential housing close to public transport, services and employment opportunities; and
 - be a mixed use building integrating commercial and residential uses.
- The creation of the supermarket space for ALDI provides an additional anchor store for the Gordon Town Centre.
- Contravention of the height control will enable the provision of seven levels of residential apartments above the ground floor thus providing greater housing supply and choice in the Ku-ring-gai LGA and assisting with achieving regional housing targets.
- The breach in height in part is a result of the built form having a slender building, with increased separation to the adjacent heritage listed Council Chambers at 818 Pacific Highway, Gordon. This building siting and design allows for increased visual separation and landscape buffer to the adjacent Council Chambers.
- The proposed slender design situated on the southern boundary allows for improved environmental amenity to the pedestrian through site link.



- The breach in height does not result in a breach of the maximum floor space ratio (FSR) of the site and the extent of the variation is minimal.
- The design of the proposed development will not result in any detrimental impacts on local amenity or on any sensitive land uses such as open space or heritage items.
- The site slopes steeply from its front boundary to the rear of the site therefore the minor contravention of the height control enables the building to respond to the topography appropriately.
- There will be no adverse amenity impacts upon surrounding uses, including the heritage-listed Council Chambers to the north of the site.
- The height contravention will not be out of character with the desired future character of the Gordon local centre and the greater density which the zoning of the centre provides for.

1.7 Significance for State or Regional Planning

The non-compliance will not raise any matter of State or regional significance.

1.8 The Public Interest

Clause 4.6 requires that the consent authority consider the public benefit in determining whether to support the variation.

The proposed development is in the public interest as it will generate positive economic, social and environmental impacts for the local community. The development will provide additional housing in a strategic position within the Gordon local centre, on Pacific Highway. This area has been earmarked by Council for future development in the Ku-ring-gai Gordon local centre DCP and the proposed development responds to the desired future character of Gordon. Further, the development will aid in meeting Ku-ring-gai Council's dwelling target of 4,000 new dwellings by 2021.

The site is located approximately 300m from Gordon railway station, meaning that it is considered transit oriented development. Increasing densities along established transport corridors is an aim of the Sydney metropolitan plan *A Plan for Growing Sydney*.

The development of an Aldi supermarket on the site will provide more competition in the local shopping centre market and will work towards meeting the demands of the growing population in Gordon and surrounding suburbs. An additional anchor store in the Gordon town centre has many multiplier benefits.

The development has been designed to achieve the desired built form. The design minimises the potential amenity impacts upon surrounding uses, most notably the adjacent heritage listed Council Chambers.

The development is considered to be in the public interest.

1.9 Conclusion

Clause 4.6 of the Ku-ring-gai LEP (Local Centres) 2012 aims to provide an appropriate degree of flexibility in applying development standards. In view of the development context, strict compliance with the maximum building height requirements outlined in Clause 4.3 of the LEP is considered unreasonable and unnecessary in this case. The proposed development warrants favourable consideration under clause 4.6 because it has been demonstrated that:



- Contravention of the development standard does not raise any matters of State or regional significance.
- There will be no adverse impacts on the amenity of the surrounding area or on any sensitive land uses such as open space or heritage items as a result of the non-compliance with the height control and thus, in this instance, there is no public benefit in maintaining the development standard.

In particular, the variation proposed to the building height will result in a better planning outcome when compared to a compliant scheme on the site as it allows the achieve of a viable mixed use development of the site which protects the heritage significance of the adjacent Council Chambers of the site, which is in the public interest for the reasons outlined through this report.



Figure 4 Proposal as viewed from Public Domain of Pacific Highway

PROPOSED MIXED USE DEVELOPMENT, 810 PACIFIC HIGHWAY, GORDON, NSW - LANDSCAPE WORKS

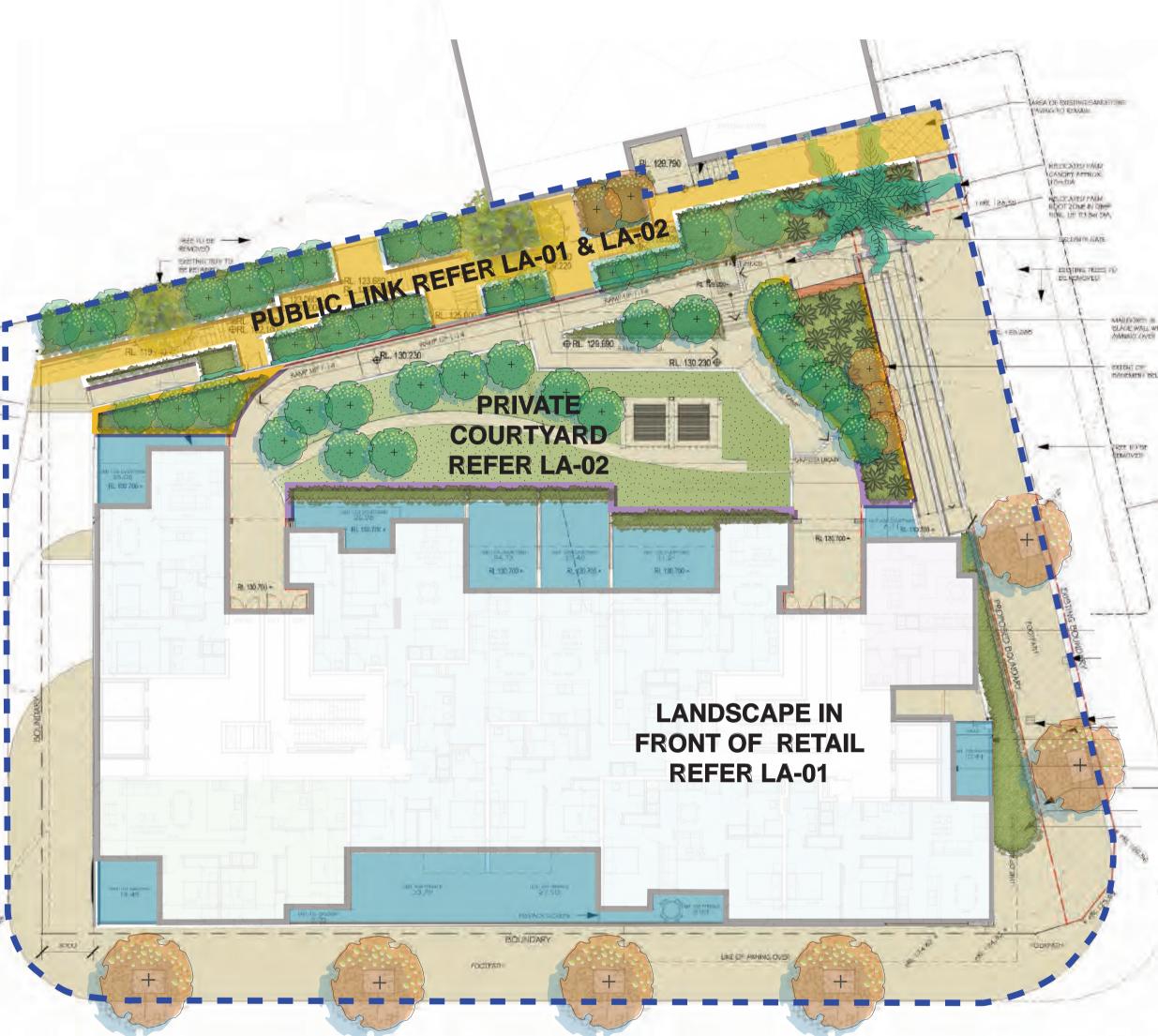
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CONTEXT MAP N.T.S

NOTES: REFER ARCHITECTURAL PLANS FOR DETAILED BUILDING/LANDSCAPE INTERFACE



LANDSCAPE REFERENCE PLAN **REFER SHEET LA-01 AND LA-02**

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PROJECT PROPOSED MIXED USE DEVELOPMENT, 810 PACIFIC HIGHWAY, GORDON, NSW.

ALDI STORES PTY LTD

COVER SHEET AND

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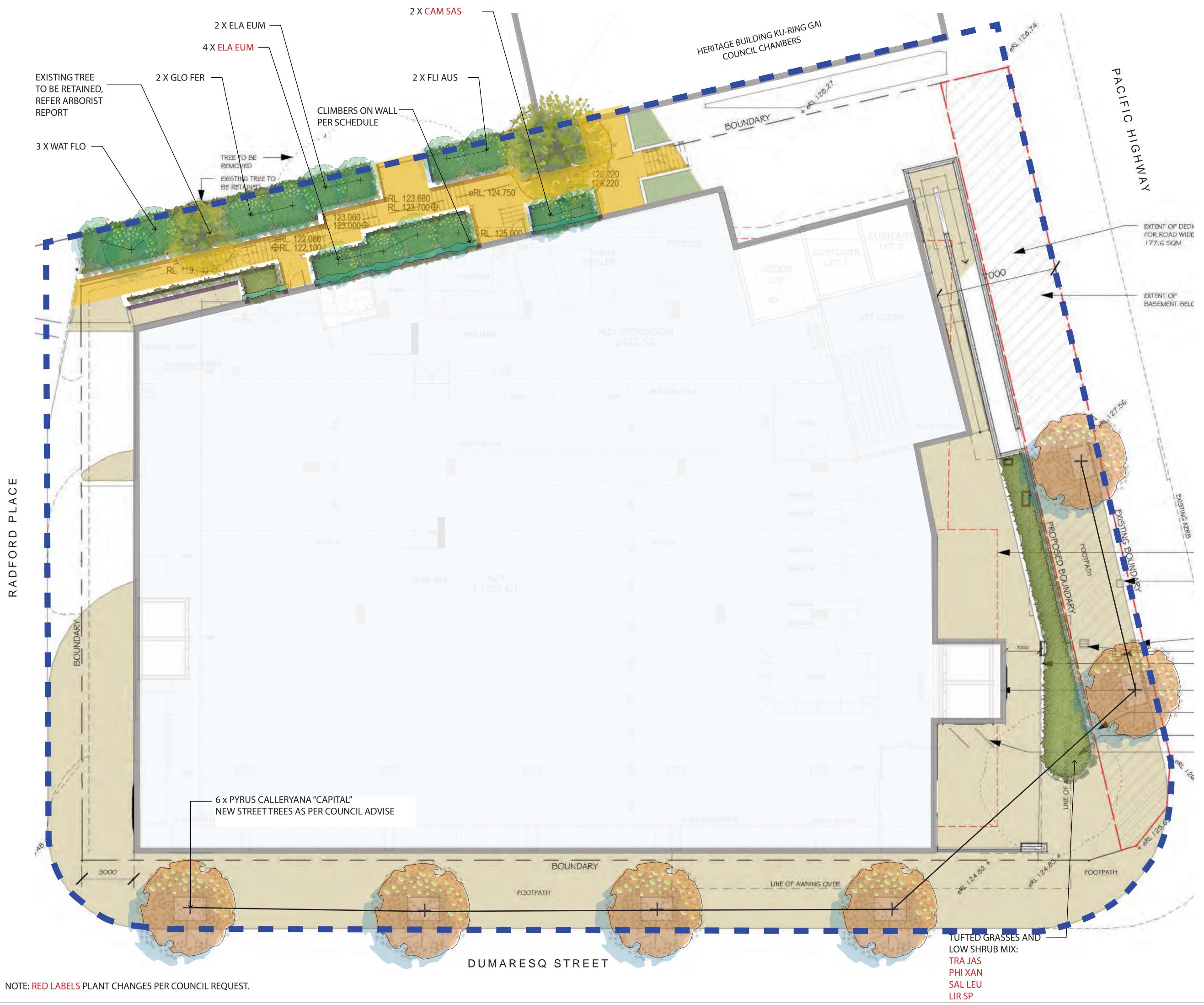
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LANDSCAPE PLAN

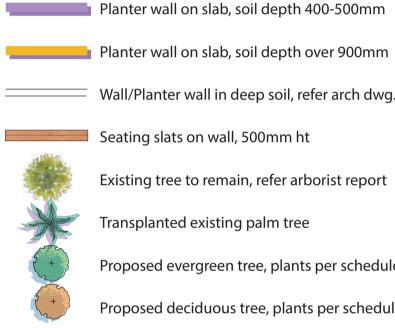
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PROJECT PROPOSED MIXED USE DEVELOPMENT, 810 PACIFIC HIGHWAY, GORDON, NSW.

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Planter wall on slab, soil depth over 900mm
Wall/Planter wall in deep soil, refer arch dwg.
Seating slats on wall, 500mm ht
Existing tree to remain, refer arborist report
Transplanted existing palm tree
Proposed evergreen tree, plants per schedule

Proposed deciduous tree, plants per schedule

LEGEND Limit of DA Lawn, soil depth min 400mm Understory planting, plants per schedule Paving refer architectural dwg Proposed Council through link pathway

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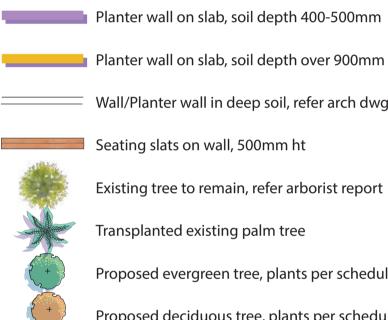
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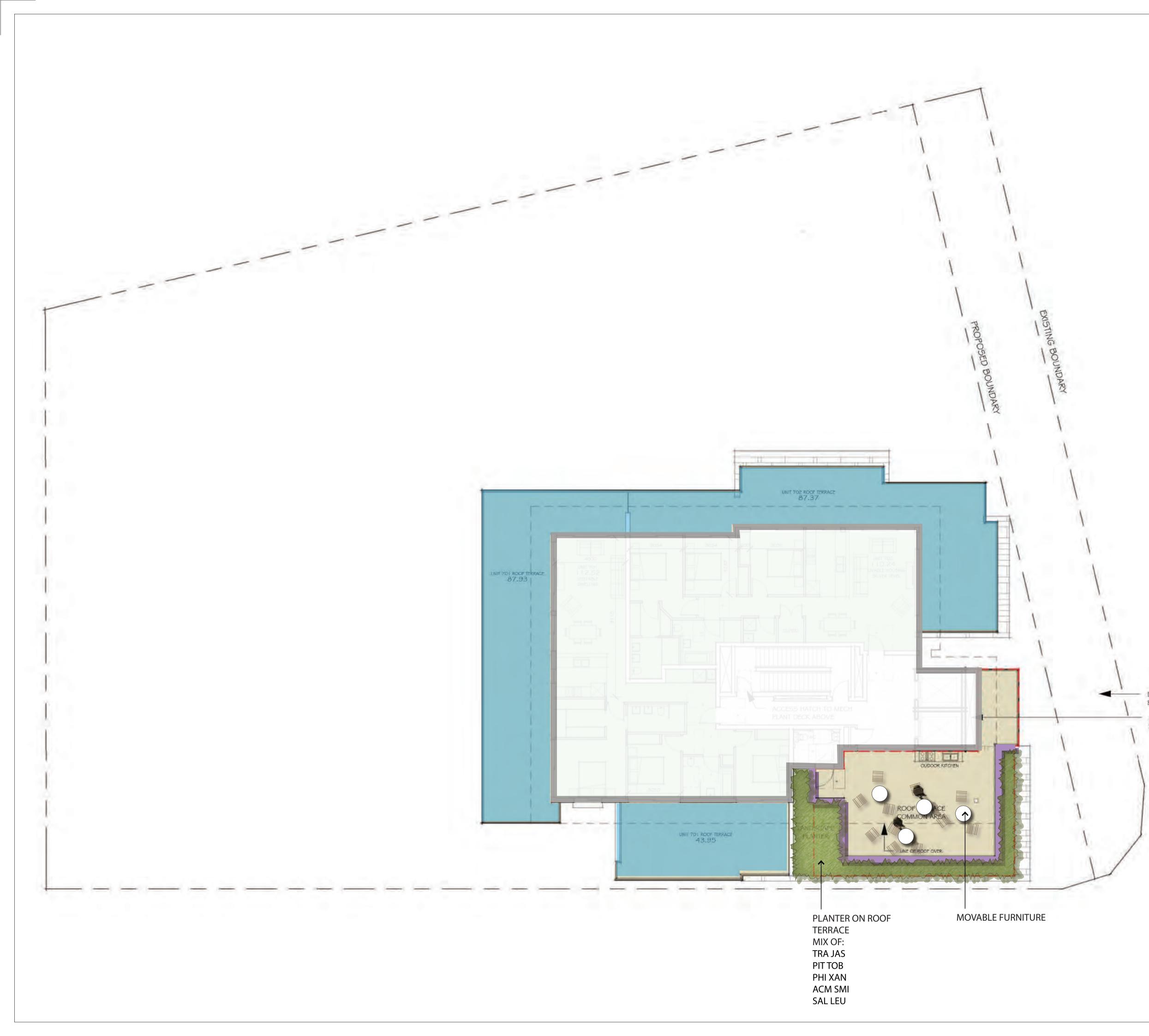
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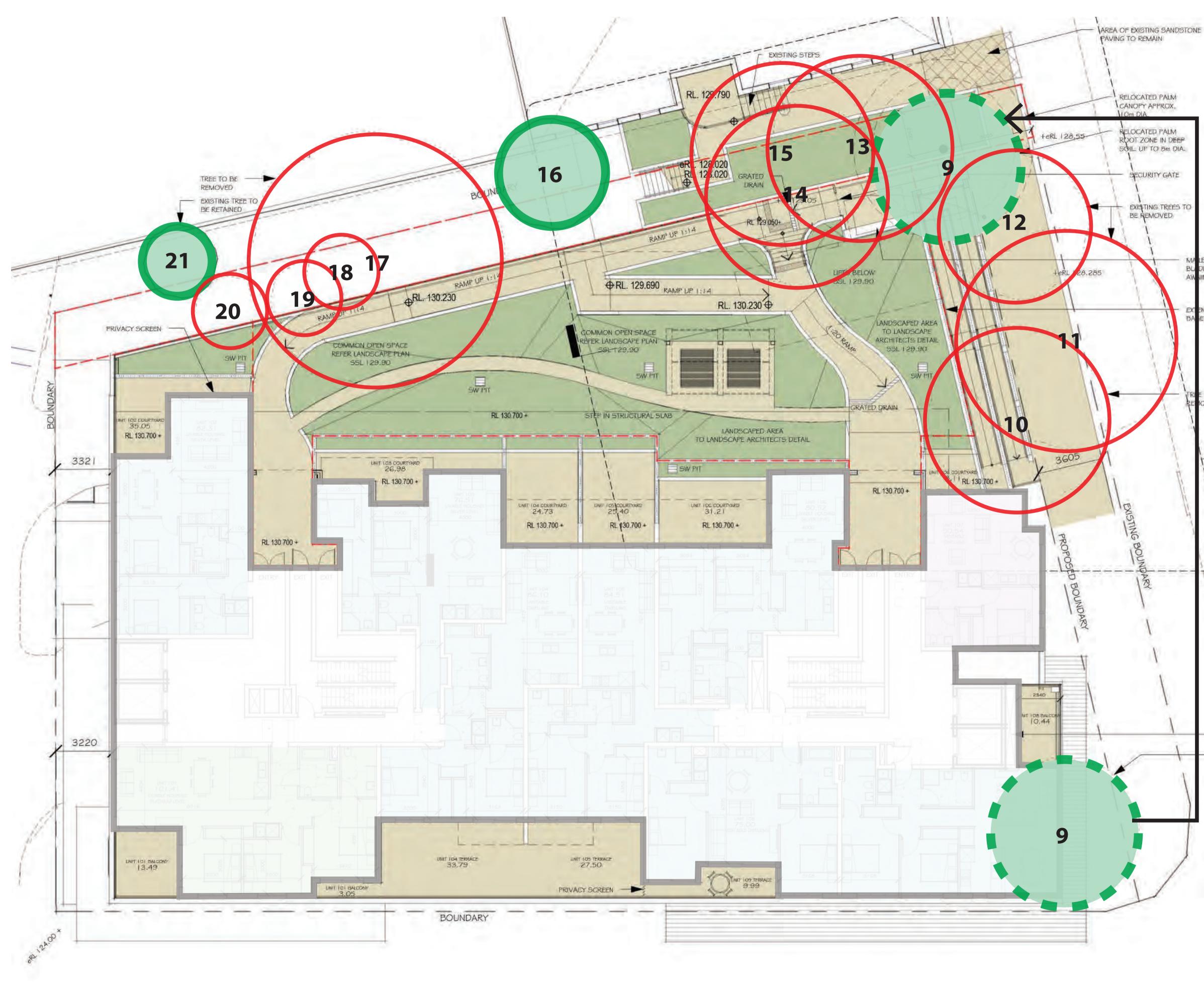
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DEVELOPMENT, 810 PACIFIC HIGHWAY, GORDON, NSW.

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REFER ARBORIST REPORT FOR FURTHER DETAIL



EXISTING PALM TREE TO BE TRANSPLANTED

(ARROW INDICATING NEW LOCATION)

EXISTING TREE TO REMAIN RERER ARBORIST REPORT

REFER ARBORIST REPORT

EXISTING TREE TO BE REMOVED REFER ARBORIST REPORT

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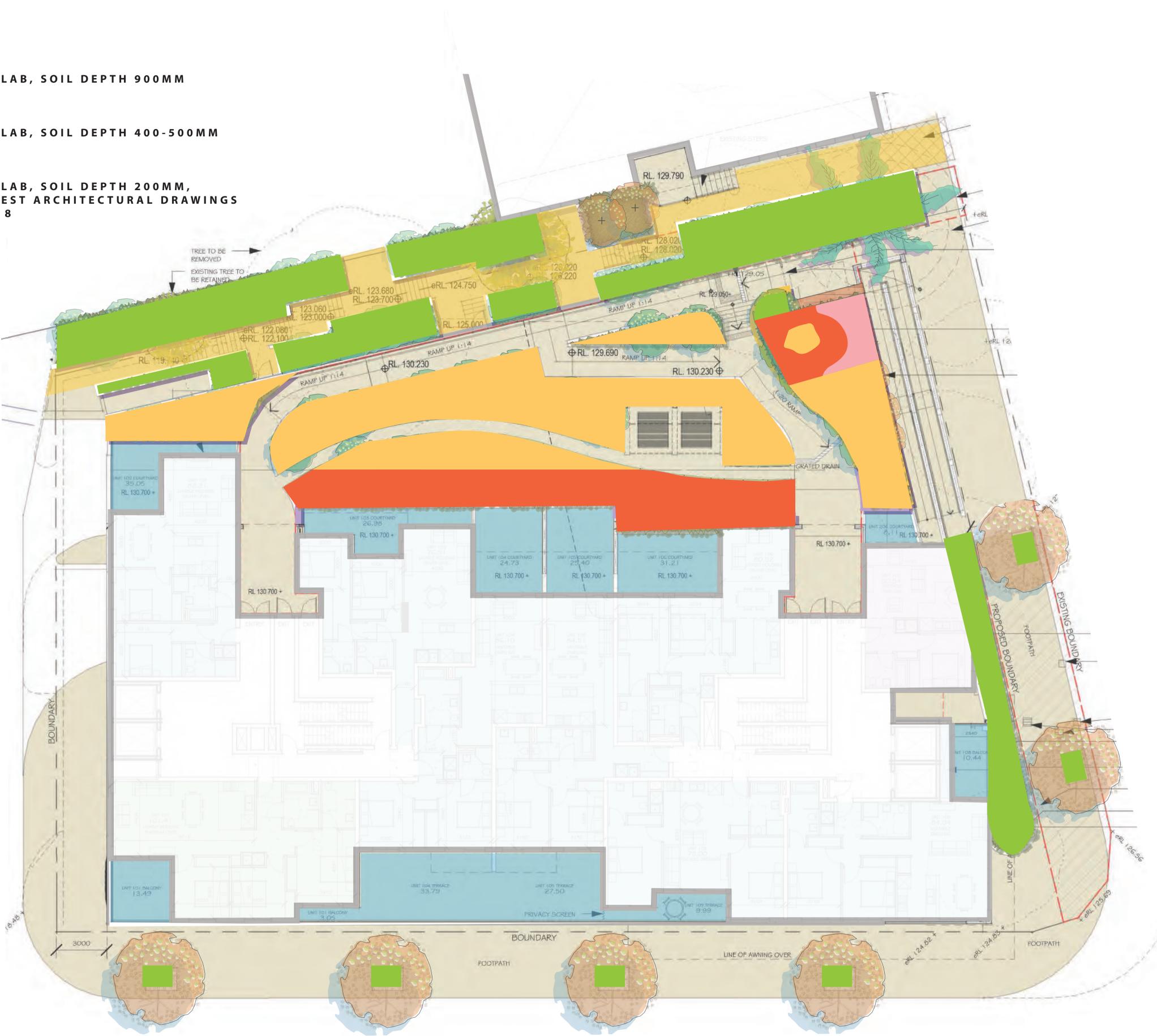


DEEP SOIL

PLANTER ON SLAB, SOIL DEPTH 900MM

PLANTER ON SLAB, SOIL DEPTH 400-500MM

PLANTER ON SLAB, SOIL DEPTH 200MM, BASED ON LATEST ARCHITECTURAL DRAWINGS DATED 23.08.18



SOIL DEPTH DIAGRAM N.T.S

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revision **02**

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SOIL DEPTH DIAGRAM

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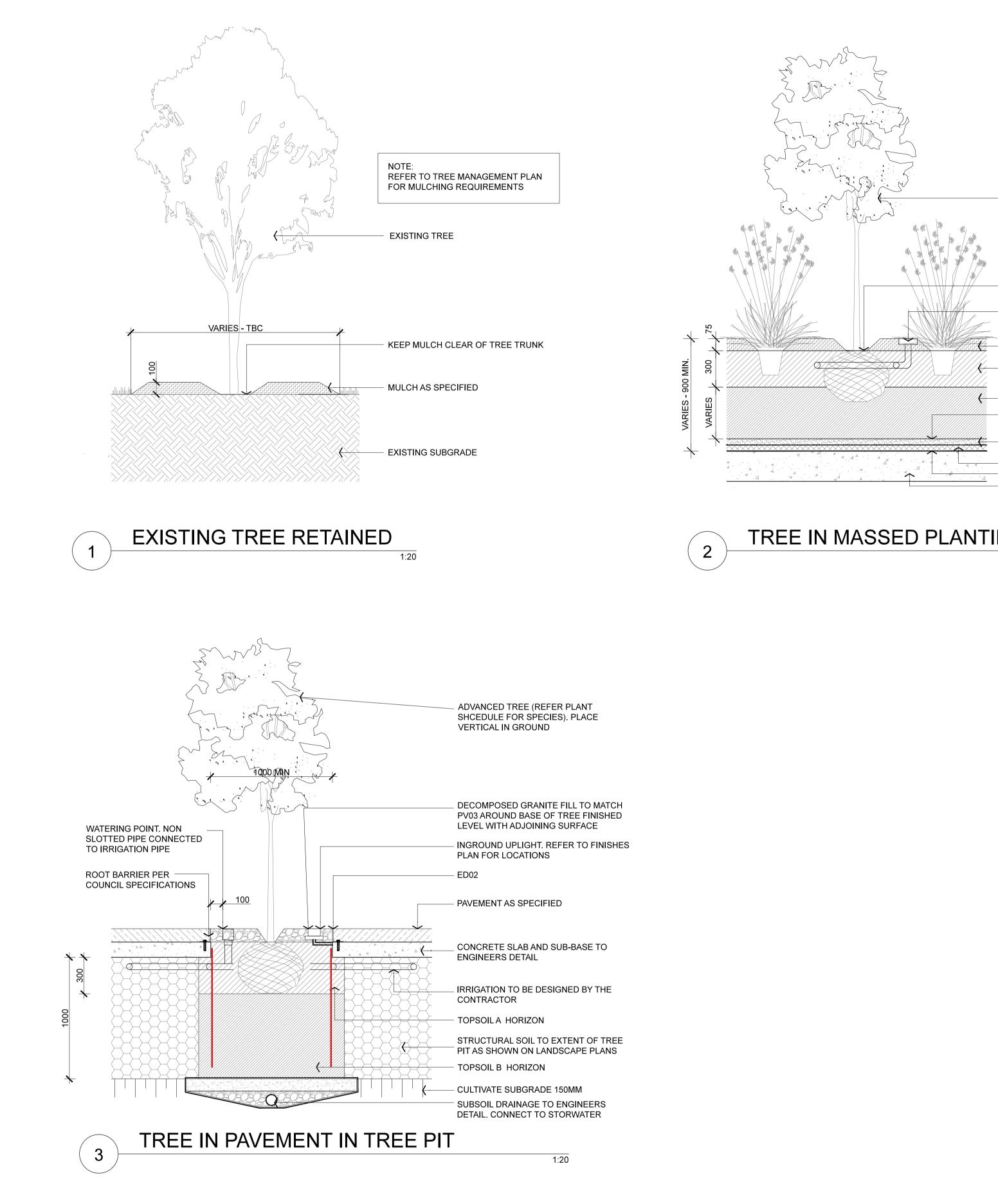
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ADVANCED TREE (REFER PLANT SCHEDULE FOR SPECIES). PLACE VERTICAL IN GROUND.

ENSURE CROWN OF ROOTBALL IS FLUSH WITH ADJACENT SOIL LEVEL.

50mm DIAMETER SLOTTED PIPE WITH GEOTEXTILE SLEEVE AROUND ROOTBALL CONNECTED TO WATERING GRATE - MULCH AS SPECIFIED

- TOPSOIL A HORIZON

- TOPSOIL B HORIZON - GEOTEXTILE TO ENGINEER'S DETAIL

- COARSE WASHED RIVER SAND TO ENGINEER'S DETAIL

- DRAINAGE CELL TO ENGINEER'S DETAIL - WATERPROOFING TO ENGINEER'S DETAIL - STRUCTURAL CONCRETE SLAB TO ENGINEER'S DETAIL

TREE IN MASSED PLANTING ON STRUCTURE 1:20

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LANDSCAPE DETAILS

PROPOSED MIXED USE DEVELOPMENT, 810 PACIFIC HIGHWAY, GORDON, NSW.

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ode	Botanical Name	Common Name	Images	Height at Maturity	Spread at Maturity	Description	Seasonal/ Special Feature	Availability	Native or Exotic	Code	Botanical Name	Common Name	Images	Height at Maturity	Spread at Maturity	Description	Seasonal/ Special Feature	Availability	Native or Exo
ıg flo	Angophora floribunda	Rough-barked Apple		18-24m	4m	Large tree with rough bark. Contorted and twisting branches	The cream-white flowers appear from November to March.	Generally available in commercial nurseries.	Native	Bac cit	Backhousia citriodora	Lemon-Scented Myrtle		5-18m	8m	Short trunk with spreading branches that form a dense rounded crown. Flowers appear in a cluster in summer.	Lemon-scented foliage, white flowers Nov-Feb.	Readily available from commercial nurseries. Propagated from seed or semi-hard- wood cuttings.	Native
g cos	Angophora costata	Sydney Red Gum"		20-25m	12m	This large spreading tree has a single trunk and contorted branches with contrasting bark colours of red and grey- brown.	It has lanced- shaped dark green leaves with coppery red new growth and the creamy flowers appear in spring.	Readily available from commercial nurseries. However high demand on East Coast.	Native	Cup ana	Cupaniopsis anacardioides	Tuckeroo		7-12m	10m	This small tree has an upright greyish trunk with ascending spreading branches that form a domed crown	It has glossy dark green leaflets and tiny green yellow saucer-shaped flowers appear in a cluster during late summer.	Readily available from commercial nurseries.	Native
r mac	Corymbia maculata	Spotted Gum		25-30m	14-16m	Large smooth bark tree with showy grey bark that has darker spots.	Smooth mottled whitish to grey on trunk and branches giving a spotted appear- ance.	Generally available in commercial nurseries.	Native	Cor fic	Corymbia ficifolia	W.A. Red Flowering Gum		8-15	5m	This small tree has a twisted trunk with grey brown fibrous bark and spreading branches that form a dense rounded crown	It has glossy dark green leaves and the scarlet to pink, orange or red flowers appear in a large cluster during early summer	Readily available from most commercial nurseries.	Native
i aus	Flindersia australis	Crow's Ash		20m	6m	Attractive large tree that has an erect short trunk with scaly grey bark. Branches that spread to form a compact rounded crown.	It has divided leaves with glossy green leaflets and the small white saucer-shape flowers appear in a cluster during spring.	Generally available from commercial nurseries.	Native	Ela ret	Elaeocarpus reticulatus	Blue Berry Ash		7-25m	3m	This shrub to small tree has a slender trunk and spreading branches that form an open rounded crown	The lanced- shaped leaves are pink-bronze ageing to green and the pink to white bell-shaped pendant flowers appear in a cluster during summer.	Readily available from most commercial nurseries.	Native
a gri	Fraxinus grif- fithii	Evergreen Ash		10-16m	4m	This tree has smooth grey trunks with spreading branches that form a rounded crown and may be semi- deciduous.	It produces early spring white flow- ers followed by a large decorative white winged seeds.	Readily available from commercial nurseries.	Exotic	Hib til	Hibiscus tiliaceus	Cottonwood		6 - 9 m	5 m	This large shrub to small tree has a short erect stem with wide spreading branches that form an open rounded crown.	The dark green leaves are heart-shape and the yellow funnel-shaped flowers appear solitary from late spring to summer.	Readily available from most commercial nurseries.	Native
o fer	Glochidion ferdinandi	Cheese Tree		18-25m	4m	This is a medi- um to large tree has an erect greyish trunk with spreading branches that form a dense irregular rounded crown.	It has dark glossy green leaves and the small and greenish flowers appear in spring followed by capsular fruit.	Readily available from commercial nurseries.	Native	Wat flo	Waterhousea floribunda	Weeping Lilly Pilly		8 m	5-6 m	This erect large tree has a brown trunk with drooping branches that form a dense rounded crown.	Fuffy cup-shaped white flowers are arranged in clus- ters and appear from late spring to mid summer.	Readily available from most commercial nurseries.	Native
				1		Small compact				DECIDIC	OUS - LARGE	TREES 100	OL PLANTING						
lau	Tristaniopsis laurina	Water Gum		10-12m	8-10m	tree with light smooth bark and yellow flowers in	Dull green dense foliage, small yellow flowers during November to January.	Generally available in commercial nurseries.	Native	Code	Botanical Name	Common Name	Images	Height at Maturity	Spread at Maturity	Description	Seasonal/ Special Feature	Availability	Native or E
eum	Elaeocarpus eumundi	Eumundi Quandong		10-15m	5m	Spring. This medi- um-size tree has an upright grey-brown trunk with small scales and ascending	It has dark green oblong leaves and the small fragrant bell-shaped flowers appear in	This plant is not commonly cultivated and may be difficult to ob- tained, requir-	Native	Jac mim	Jacaranda mimosifolia	Jacaranda		10-15m	12m	-	It has a light green divided fern-like leaves and the bluish bell-shape flowers appear in a cluster in late spring on a leafless tree.	Generally available from commercial nurseries.	Exotic
	Buckinghamia	lvory Curl				branches that form a narrow rounded crown. This tree has a smooth greyish trunk	early summer. It has dark green lanced-shaped leaves and the sweetly scented	Generally available in		Pyr cal	Pyrus calleryana 'Chanticleer'	Ornamental Pear		10 - 12m	6 - 8m	Upright, dense habit with attractive foliage. White flowers produced in Summer.	Orange, scarlet & crimson autumn foliage. White blossom in spring.	Generally available from commercial nurseries.	Exotic
c cel	celsissima	Flower Tallow Wood		10 -25 m		with spreading branches that form a dense rounded crown. Large tree has a straight trunk for two thirds of its height with red-brown bark	cream flowers ap- pear in a nodding cylindrical spike during summer.	commercial nurseries. Generally	Native	Zel ser	Zelkova serrata	Japanese Zelkova		20-35m	18m	Short thick trunk with arching, spreading branches forming a rounded crown.	The dark green toothed oblong leaves turn orange-red in autumn and the insignificant green flowers appear in spring.	Generally available from commercial nurseries.	Exotio

DRAWING NO.	REVISION
LA-08	02

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ISSUE DA		PROJECT NO.
SCALE NA		

PLANT SCHEDULE

PROJECT

DRAWING TITLE

PROPOSED MIXED USE DEVELOPMENT, 810 PACIFIC HIGHWAY, GORDON, NSW.

CLIENT ALDI STORES PTY LTD

	05	AMENDMENTS	FA	GP	05.09.18
	04	AMENDMENTS	FA	GP	07.08.18
	03	AMENDMENTS	FA	GP	01.05.18
	02	AMENDMENTS	FA	GP	23.11.17
	01	ISSUE FOR DA	ET	GΡ	13.11.17
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LEGEND



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DECIDIOUS - SMALL/MEDIUM TREES 45 & 100L PLANTING

Code	Botanical Name Common Name	Images	Height at Maturity	Spread at Maturity	Description	Seasonal/ Special Feature	Availability	Native or Exotic	-	Code	Botanical Name	Common Name	Images	Height at Maturity	Spread at Maturity	Description	Seasonal/ Special Feature	Availability	Native or Exotic
Ace pal	Acer palmatum Japanese Maple		4-5m	4m	This small deciduous tree has a solitary or multiple trunks with upright spreading branches that form a rounded crown.	It has lobed mid green leaves that turn reddish during autumn and the small red saucer-shaped flowers appear in a pendant cluster in spring.	Generally available from commercial nurseries.	Exotic	=	Acm smi	Acmena smithii "Allyn Magic"	Dwarf Lilly Pilly		0.5	0.5	A native Australian, compact lilly pilly with glossy green foliage and copper coloured new growth.	Perfect for low hedges and borders with richly coloured new growth appearing throughout the year following pruning.	Generally available from commercial nurseries.	Native
Lag ind	Lagerstroemia indica x fauriei 'Biloxi'		7m	5m	A multi stemmed large shrub or tree with a open vase habit. During summer it produces masses of pale pink flowers.	During summer it produces masses of pale pink flowers that appear on the current season's growth.	Readily available from commercial nurseries.	Exotic	-	Acm smi	Acmena smithii 'Red Tip'	Lilly Pilly Red Tip		6	5	The spreading smooth branches form a dense crown with glossy green ovate leaves.	Fluffy-like white flowers appear in summer, followed by purple berries.	Generally available from commercial nurseries.	Native
Lag ind	Lagerstroemia indica x fauriei Crepe Myrtle 'Natchez'		8m	бm	Smooth greyish trunk and spreading branches. Dark green foliage, produces clusters of white flowers during summer	White flowers from early January to April. Mid green foliage turning yellow, orange & scarlet in Autumn.	Readily available in commercial nurseries. Propagated from Semi- Hardwood cuttings.	Exotic	-	Cal cit	Callistemon citrinus	Lemon Scented Bottlebrush, Red Bottlebrush	A CARLON AND AND AND AND AND AND AND AND AND AN	5-8m	5	This large shrub has upright stiff angular branches that forms a rounded crown.	It has dark green leathery leaves and the crim- son-red bottle brush-like flowers appear from mid to late spring.	Generally available from commercial nurseries.	Native
Lag ind	Lagerstroemia indica x fauriei Crepe Myrtle 'Tuscarora'		бm	4m	Medium sized tree with dark fuchsia-pink flowers from late Summer to early Autumn.	Beautiful fuchsia-pink crinkled flowers that are borne in late Summer.	Readily available from commercial nurseries.	Exotic	-	Cam sas	Camellia sasanqua	Camellia sasanqua		4-6m	4m	This single trunked large shrub to small tree has upright spreading branches that form a narrow conical crown.	It has glossy dark green oval leaves and the white, pink to red saucer-shaped flowers appear from summer to winter.	Generally available from commercial nurseries.	Exotic
Plu rub	Plumeria rubra Frangipani		4-6m	5m	This small deciduous tree has a broad rounded crown with irregular smooth grey fleshy branches.	It has largeglossy green textured leaves and the fragrant white, yellow centred funnel-shaped flowers appear in a cluster during summer.	Generally available from commercial nurseries.	Exotic	-	Cha spe	Chaenomeles speciosa	Japanese Flowering Quince		2 - 3 m	2 m	This suckering deciduous shrub has up- right stems and horizontal branches that form a low rounded habit.	It has glossy dark green ovate leaves and the solitary white to red saucer-shaped flowers appear from late winter to early spring.	Generally available from commercial nurseries.	Exotic
Pyr uss	Pyrus Manchurian ussuriensis Pear		8-12m	8m	This tree has an erect slender trunk and spreading branches forming a broad pyramidal habit.	It has broad oval leaves that are dark green turning bronze in winter and has scented white saucer-shaped flowers during mid spring.	Generally available from commercial nurseries.	Exotic	-	Cor alb	Correa alba	White Correa		0.9 - 1.5m	0.5m	This small shrub forms a low spreading habit with erect stems that are covered in woolly grey-green rounded leaves.	bell-shaped	Generally available from commercial nurseries.	Native

SHRUBS / HEDGES 140-200MM POT PLANTING

REVISION
02

PROJECT NO.

DA	
SCALE	
NA	

DRAWING NO.

LA-09

ISSUE

PLANT SCHEDULE

DRAWING TITLE

HIGHWAY, GORDON, NSW.

PROJECT PROPOSED MIXED USE DEVELOPMENT, 810 PACIFIC

CLIENT ALDI STORES PTY LTD

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	02	AMENDMENTS	FA		23.11.17	
	01	ISSUE FOR DA	ET	GP	13.11.17	
REV	NO	DESCRIPTION	DWN	СНК	DATE	
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LEGEND

LEFFLER SIMES ARCHITECTS

ARCHITECTS

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Landscape Architects / Urban Designers Registered Landscape Architect: Garth Paterson FAILA Reg#716 BLA (CANB) MLAUD (HARV) Paterson Design Studio PTY. LTD T +61 2 9452 4911 16a/1-15 Tramore Place admin@pdsdesign.com.au Killarney Heights, NSW 2087. www.pdsdesign.com.au







SHRUBS / HEDGES 140-200MM POT PLANTING

	/ HEDGES		I POT PLANTING	u u										Height					<u> </u>
Code	Botanical Name	Common Name	Images	Height at Maturity	Spread at Maturity	Description	Seasonal/ Special Feature	Availability	Native or Exotic	Code	Botanical Name	Common Name	Images	at Maturity	Spread at Maturity	Description	Seasonal/ Special Feature	Availability	Native or Exotic
Gre jun	Grevillea juniperina	Prickly Spider Flower		1.5 - 2 m	2 m	This variable shrub is spreading with angular branches that form a compact habit.	It has small dark green needle-like leaves and the yellowish orange tube- shaped flowers appear in clusters from winter to spring.	Generally available from commercial nurseries.	Native	Aju rep	Ajuga reptans	Bugle Weed, Ajuga		0.2 - 0.3 m	0.5m	This perennial plant has a low creeping growth habit with rosettes of blue- green leaves.	The small blue or purple lipped flowers appear in an upright cluster from spring to summer.	Generally available from commercial nurseries.	Exotic
Jun con	Juniperus conferta	Shore Juniper		0.2 - 0.3 m	4 m	This long-lived coniferous shrub has spreading woody stems that form a dense prostrate habit.	It has glaucous green needle-like leaves and the small berry-like female cones appear during spring.	Generally available from commercial nurseries.	Exotic	Cli min	Clivia miniata	Clivia, Kaffir Lily		0.2 - 0.5 m	0.6m	This perennial plant forms an upright clump habit with strap-like dark green leaves.	The funnel-shaped orange flowers have a yellow throat and appear in a cluster from early to mid spring.	Generally available from commercial nurseries.	Exotic
Met tho	Metrosideros thomasii	NZ Christmas bush		4 -6m	3 - 5m	A hardy, medium-sized shrub to small tree. The wavy-edged foliage is grey- green in colour and velvety to	Brilliant crim- son-red pom- pom-like flowers are displayed in abundance during Spring and Summer.	Generally available from commercial nurseries.	Exotic	Dia cae	Dianella caeru- lea/Dianella revoluta	Flax Lily, Paroo Lily, Blue Flax- lily		0.6 - 1 m	2m	This perennial plant has a tufted or mat habit. It has dark green grass-like, flat lanced-shaped leaves	The pendent blue star-shaped flow- ers appear in a cluster above the foliage on a slen- der stem from spring to early summer.	Generally available from commercial nurseries.	Native
Syz aus	Syzygium australe 'Resilience'	Lillypilly		4 - 18m	4m	touch. This up- right-branched small to medi- um size tree forms a densely rounded crown of glossy green lanced-shaped leaves.	The branchlets are distinctly 4-angular.	Generally available from commercial nurseries.	Native	Dor exc	Doryanthes excelsa	Gymea Lily		1 - 1.5 m	2.5 m	This sub-shrub forms a round- ed clump with many sword-shaped curved leaves that reach up to 2 m from a central rosette.	The red fun- nel-shaped flow- ers appear in a large cluster on the top of a stem up to 6 m tall in summer.	Generally available from commercial nurseries.	Native
Wes wyn	Westringia "wynyabbie gem"	Westringia		1.5 - 2m	4m	This long-lived shrub has greyish woody branched stems that form a compact rounded habit.	The light violet flowers appear from spring to summer with the sporadic flower- ing through out the year	Generally available from commercial nurseries.	Native	Hed can	Hedera canariensis	Common lvy		2 - 12 m	8 m	This vigorous climber has woody stems with adventitious rootlets that adhere to walls forming a spreading habit.	It has dark green leaves and the small greenish flowers appear in clusters during late spring.	Generally available from commercial nurseries.	Exotic
Vio hed	Viola hederacea	Native Violet		0.06- 0.1m	0.1m	This fibrous rooted stoloniferous perennial has a spreading habit with stems that take root.	It has dark green leaves and the profuse white or violet flowers stand erect above the foliage and appear from spring to summer.	Generally available from commercial nurseries.	Native	Lir mus	Liriope muscari	Lily Turf, Big Blue lilyturf		0.3 - 0.45 m	0.5 m	This tuberous perennial has a tufted habit with upright dark green strap-like leaves.	The small violet-mauve cup- shaped flowers appear in a raceme above the foliage from mid to late summer.	Generally available from commercial nurseries.	Exotic
Dor exc	Doryanthes excelsa	Gymea Lily		1 - 1.5 m	2.5 m	This sub-shrub forms a round- ed clump with many sword-shaped curved leaves that reach up to 2 m from a central	The red fun- nel-shaped flow- ers appear in a large cluster on the top of a stem up to 6 m tall in summer.	Generally available from commercial nurseries.	Native	Poa lab	Poa labillardieri	Tussock Grass		0.3 - 0.8 m		Poa labillardieri is a dense perennial tussock grass with long, slender, soft, greyish-green or blue-green leaves in a weeping habit.	Delicate plume like flowerheads in spring to sum- mer extend above the foliage up to 1.2 metres.	Generally available from commercial nurseries.	Native
						rosette.				Cri pow	Crinum x powellii	Swamp Lily		0.5-1.5	0.6m	This leafy bul- bous perennial has long strap- like shiny dark green foliage that forms a large dense clump.	It has white trumpet-shaped flowers appear in a terminal cluster above the foliage during early summer and is is deciduous in cold regions.	Generally available from commercial nurseries.	Native
										Aga ang	Agave angustifolia	Century Plant		0.4-0.6	2m	This sucker- ing perennial succulent has a short trunk to 450 mm long that is topped with a rosette of stiff blue green lanced-shaped leaves.	The greenish funnel-shaped flowers appear on a tall stem from the centre of the plant during summer.	Generally available from commercial nurseries.	Exotic
										Par tri	Parthenocissus tricuspidata	Boston lvy		4-10m	10m	This vine has a slender woody stems that branch and has tendrils with suckering disks that adhere to walls.	The leaves are glossy green turning red during autumn and the small star-shaped greenish flowers appear in a cluster from spring to summer.		Exotic

GRASSES, SEDGES and CLIMBERS 140-200MM POT PLANTING

PLANT SCHED	ULE
ISSUE DA	PROJECT NO.
SCALE	
DRAWING NO.	REVISION
LA-10	02

DRAWING TITLE

PROJECT PROPOSED MIXED USE DEVELOPMENT, 810 PACIFIC HIGHWAY, GORDON, NSW.

CLIENT ALDI STORES PTY LTD

	05	AMENDMENTS	FA	GP	05.09.18
	04	AMENDMENTS	FA	GP	07.08.18
	03	AMENDMENTS	FA	GP	01.05.18
	02	AMENDMENTS	FA	GP	23.11.17
	01	ISSUE FOR DA	ET	GP	13.11.17
REV	NO	DESCRIPTION	DWN	СНК	DATE

LEGEND

LEFFLER SIMES ARCHITECTS

ARCHITECTS

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Paterson Design

Studio

Reference: SY160311

6 Sep 2018

ALDI Stores (A Limited Partnership) 1 Sargents Road MINCHINBURY NSW 2770

Attn: Mr Jon Kennedy

Dear Jon

Re: DA0610/17 – 810 Pacific Highway, Gordon – Civil Response to Council Panel Assessment Report

Further to the Council Panel Assessment Report prepared by Ku-ring-gai Council (ref: 2017SNH084), ACOR Consultants enclose our responses to the sections of the Assessment Report which relate to civil and stormwater engineering matters as described below.

We note that Ku-ring-gai Council have listed eleven reasons for refusal of the Development Application. Item 9 of the refusal recommendation ns indicates that *"The concept stormwater plan is not acceptable, due to the stormwater from the public pedestrian pathway bypassing the OSD system"*. This letter of response addresses misunderstanding by Council of the site stormwater drainage intent relating to this reason of refusal, as well as other general items described within the body of the Council Panel Assessment Report.

We also refer to our previous response letter to Council's RFIs, dated 2 May 2018, which details our responses to the previously raised Council queries.

In addition to the above, we enclose the relevant updated Civil Drawings reflecting all the requisite changes described below:

If there are any queries, please do not hesitate to contact the undersigned.

Yours faithfully, ACOR Consultants Pty Ltd

la 2

Matthew Buttarelli Associate Senior Civil Engineer Encl. Civil Drawing C1.06 Civil Drawing C5.01



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Page 11 – Footpath/through link excluded from OSD

<u>Council Concern</u>: ACOR have provided a detailed written response regarding the footpath/through link and a justification for excluding this from the stormwater management. Council does not support this justification. This is land within the property boundaries therefore the stormwater generated on this portion of land shall be discharged from a site in a controlled manner to a recognised public drainage system.

Response: The above item was previously discussed with Council. The existing Ku-ring-gai Council building, and a portion of the Ku-ring-gai Council pathway within the neighbouring Ku-Ring-gai Council site boundary, will overflow in an uncontrolled manner into the subject site. Connection of a stormwater system within the footpath/through link to the site OSD system would introduce external catchment runoff into the OSD system and is not in accordance with Ku-ring-gai Local Centres DCP requirements and standard OSD design practice.

Notwithstanding the above, we have modified the site catchment calculations and OSD Permissible Site Discharge (PSD) flow to account for the pedestrian footpath/through link. A Catchment Plan, Civil Drawing C5.01, has been prepared to demonstrate OSD and Bypass Catchments (see Figure 1 below).

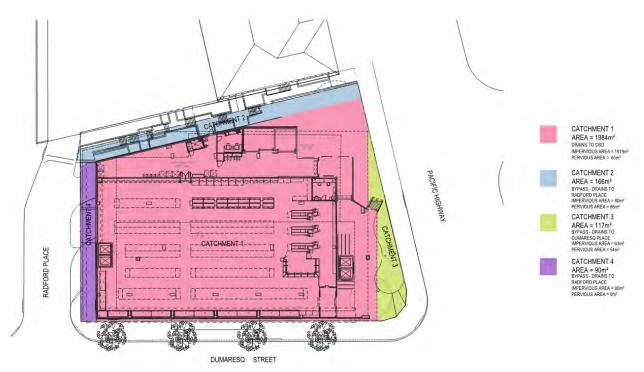


Figure 1. Catchment Plan for OSD and Bypass Areas (Extract from Civil Drawing C5.01)

It is proposed that surface drainage structures within the pedestrian footpath/through link will collect stormwater runoff from paved and landscaped areas. The through link stormwater system will then discharge to a kerb outlet within Radford Place. The approximate 5% AEP discharge for this through link will be 17 litres per second, which is below the maximum 25 litres per second allowable under Ku-ring-gai Local Centres DCP requirements.

The proposed stormwater system for the through link is documented on Civil Drawing C2.01.

The accompanying OSD Calculation Sheet on Civil Drawing C1.06, has been updated to include all bypass areas, as shown on the above Catchment Plan. We note that the ratio of Bypass Impervious Area to Total Impervious Area is 0.11, which is less than 0.25 as required by



Ku-ring-gai Local Centres DCP. The orifice diameter to the OSD tank has been modified to the new PSD rate.

In this regard, we consider the site bypass areas and OSD design to comply with Ku-ring-gai Local Centres DCP requirements. Thus we consider the above item to be satisfied.

Page 32 Point 6 – Inconsistent drawings – Stormwater with architectural and landscape design

<u>Council Concern</u>: (a) The OSD/rainwater tank proposed to be suspended above the goods handling area (DA04) appears to be outside the building footprint. There are insufficient levels shown on the architectural and landscape plans to confirm adjacent ground levels in the public stairway/ground along the northern boundary. Therefore, it is unclear whether the tank is located underground, and if so, at what depth so there is sufficient soil for proposed tree 1 x Angophora Costata shown on the landscape plan.

Response: This item was addressed during the previous Council RFI response as follows:

The OSD/rainwater tank footprint has been modified to be located within the footprint of the loading dock level. Adjustments in the OSD/rainwater tank dimensions and volumes has been made to accommodate the new tank shape and Council queries regarding OSD storage. Refer to drawing C2.01 for the updated OSD/rainwater tank system.

In this regard, we consider the above item to be satisfied.

<u>Council Concern:</u> (b) A stormwater pit at the south-eastern corner is shown on the architectural drawings adjacent to the curved landscape planter (which is preferred) while the engineering drawings show it adjacent to the south-eastern corner column at the ALDI entrance area, which is undesirable. This will need further resolution should road widening require amendments.

Response: This item was addressed during the previous Council RFI response as follows:

The stormwater pit has been modified to the preferred location. Refer to drawing C2.02.

In this regard, we consider the above item to be satisfied.

Page 59-60 – Stormwater and Water Sensitive Urban Design

<u>Council Concern</u>: The stormwater design has been assessed by Council's Development Engineer who is not satisfied with the water sensitive urban design aspects of the proposal.

Response: The Council concern provides no clarification of specific "unsatisfactory" components of the stormwater design and water sensitive urban design.

We note that the site stormwater and water sensitive urban design provides rainwater reuse to satisfy stream flow controls (24C.3 and 24C.4, and on-site detention system to satisfy on site detention controls (24C.5) and proprietary filtration devices to satisfy stormwater quality controls (24C.6).

In this regard, we consider the stormwater design and water sensitive urban design to satisfy Ku-ring-gai Local Centres DCP Part 24 requirements. Thus we consider the above item to be satisfied.



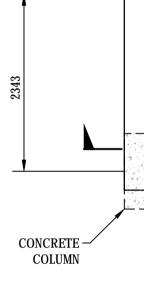
Page 60 – Groundwater Systems

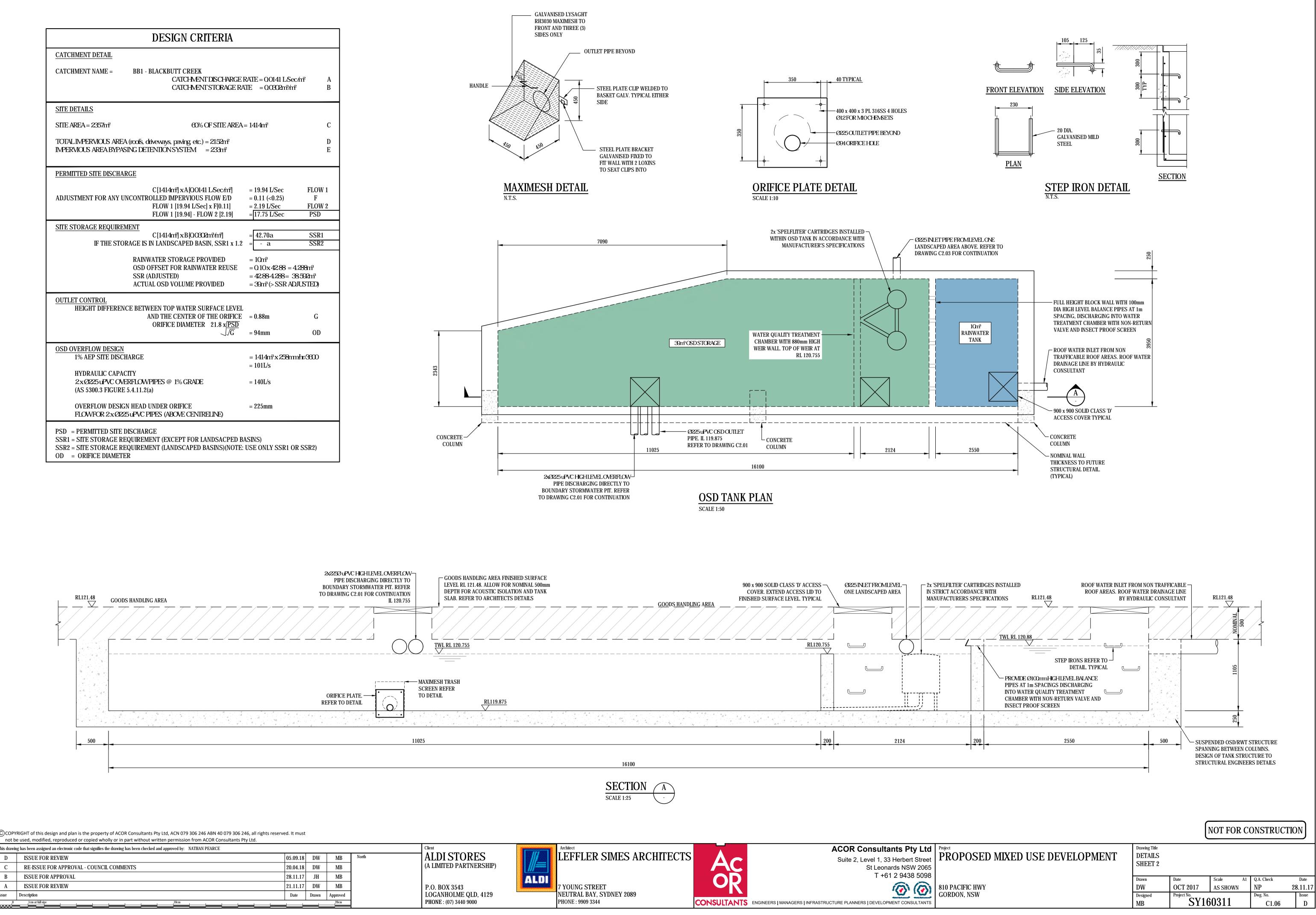
<u>Council Concern</u>: The site is not located adjacent to and does not include native bushland or waterways. The stormwater design has been assessed by Council's Development Engineer who is not satisfied the proposal will not have an unacceptable impact upon adjoining properties or the groundwater system.

Response: The Council concern provides no clarification of specific "unacceptable" impacts of the stormwater design in relation to the impact upon adjacent properties or the groundwater system.

We note that the Council Panel Assessment Report references Water NSW General Terms of Approval (GTAs) which should be included in any consent issued. In this regard, we consider this concern unsubstantiated and thus satisfied.

	DESIGN CRITERIA		
CATCHMENT DETAIL			
CATCHMENT NAME =	BB1 - BLACKBUTT CREEK CATCHMENT DISCHARGE CATCHMENT STORAGE RA		ŕ "
SITE DETAILS			
SITE AREA = 2357m²	60% OF SITE AREA	= 1414m²	(
	EA (roofs, driveways, paving etc.) = 2152nf ASING DETENTION SYSTEM = 233nf]]
PERMITTED SITE DISCH	ARGE		
ADJUSTMENT FOR ANY	C[1414mf] x A [OO141 L/Sec/mf] UNCONTROLLED IMPERVIOUS FLOW E/D FLOW 1 [19.94 L/Sec] x F[0.11] FLOW 1 [19.94] - FLOW 2 [2.19]	= 19.94 L/Sec = 0.11 (<0.25) = 2.19 L/Sec = 17.75 L/Sec	FLOW 1 F FLOW 2 PSD
SITE STORAGE REQUIR	EMENT		
IF THE ST	C[1414mf] xB[QC3C2m³/mf] ORAGE IS IN LANDSCAPED BASIN, SSR1 x 1.2	= 42.70a = - a	SSR1 SSR2
	RAINWATER STORAGE PROVIDED OSD OFFSET FOR RAINWATER REUSE SSR (ADJUSTED) ACTUAL OSD VOLUME PROVIDED	$= 10m^{3}$ = 0.10x 42.88 = 4.26 = 42.88 4.288 = 38.5 = 39m^{3} (> SSR ADJU	92m²
OUTLET CONTROL	NCE BETWEEN TOP WATER SURFACE LEVEL		
HEIGHT DIFFERE	AND THE CENTER OF THE ORIFICE ORIFICE DIAMETER 21.8 x/PSD	= 0.88 m	G
	$\frac{100}{\sqrt{G}}$	= 94mm	OD
OSD OVERFLOW DESIG 1% AEP SITE DIS	CHARGE	= 1414m³ x 258mmh = 101L/s	r/3600
HYDRAULIC CAP/ 2xØ225uPVC O (AS 5300.3 FIGUR	VERFLOWPIPES @ 1% GRADE	= 140L/s	
	GN HEAD UNDER ORIFICE 25 uPVC PIPES (ABOVE CENIRELINE)	= 225mm	
	REQUIREMENT (EXCEPT FOR LANDSACPED B REQUIREMENT (LANDSCAPED BASINS)(NOTE:	,	SSR2)



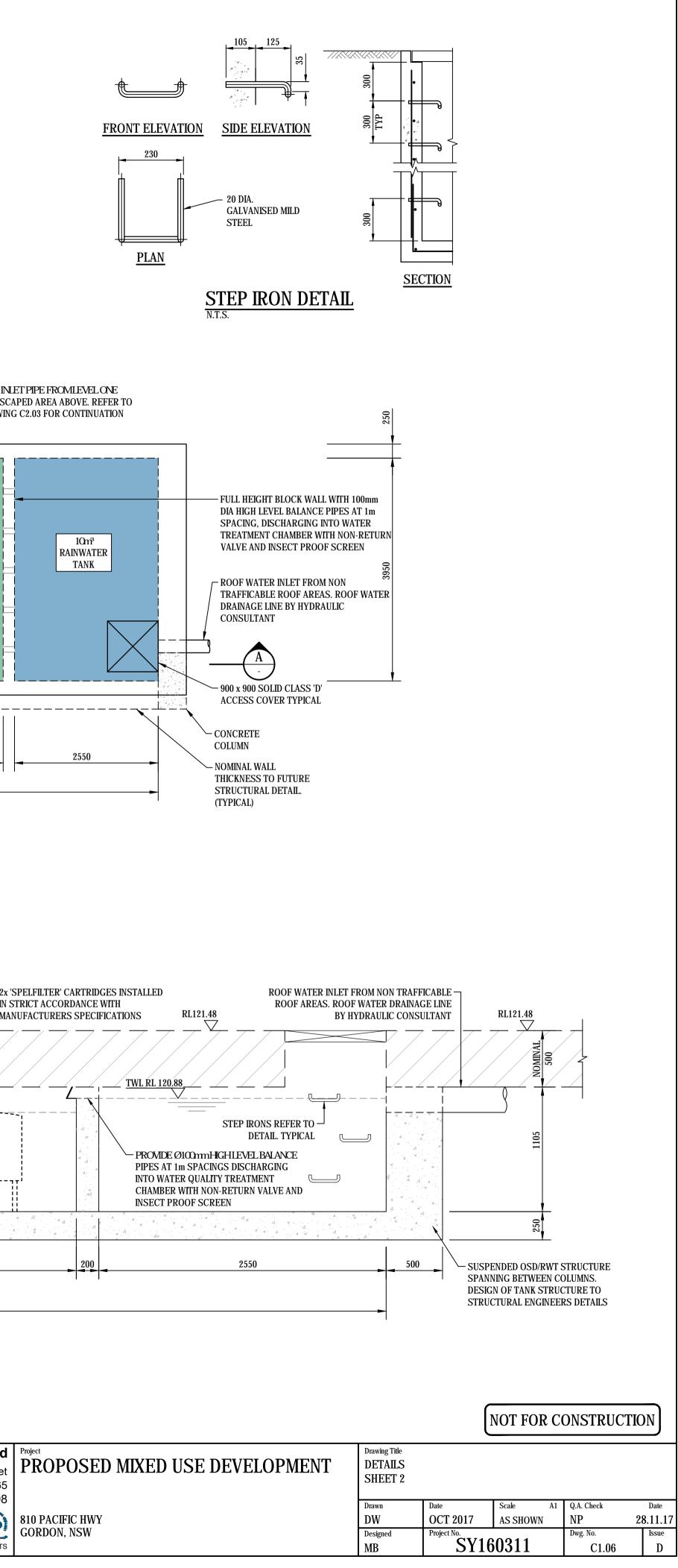


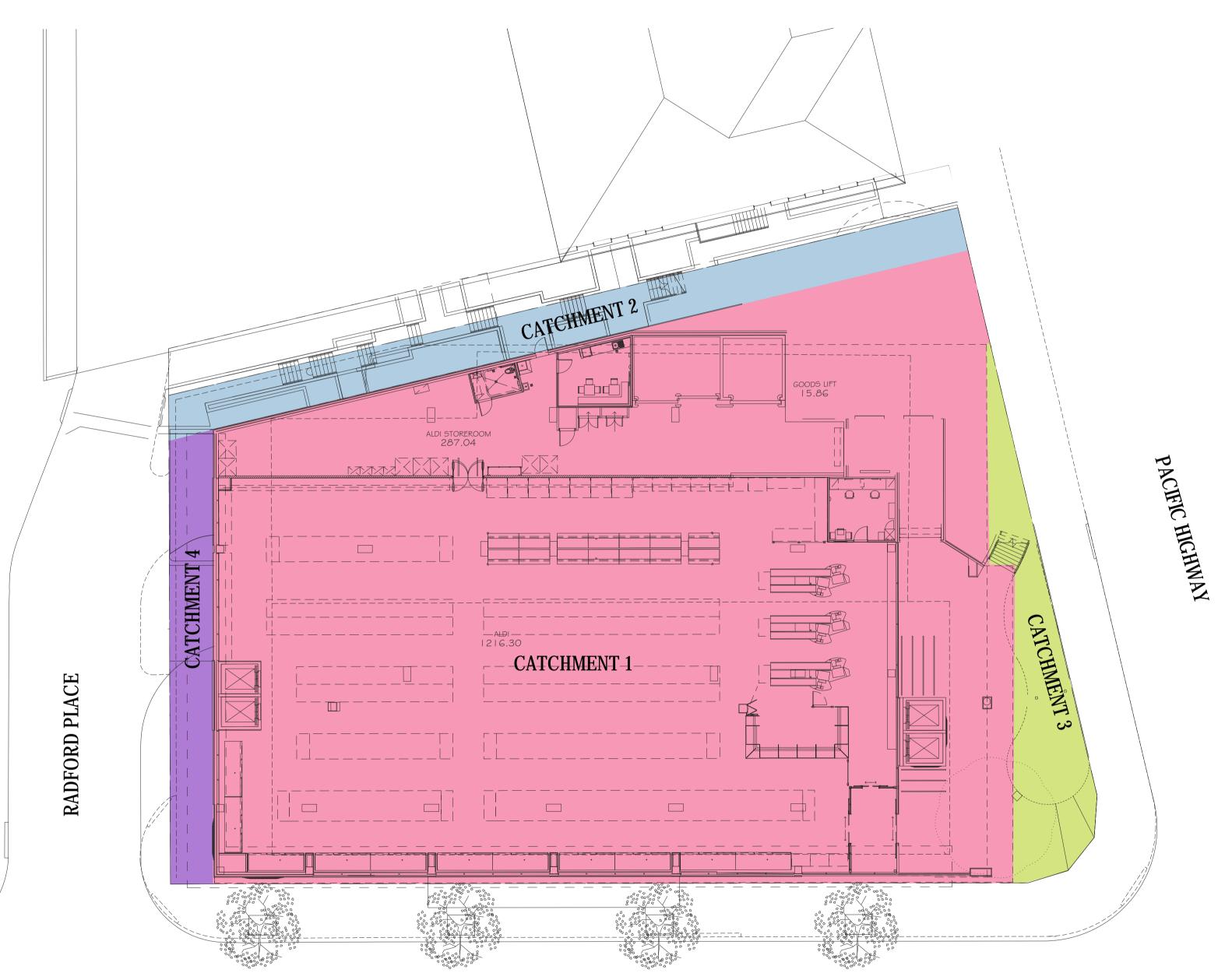
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D	ISSUE FOR REVIEW	05.09.18	DW	MB	North	ALDI STORES
С	RE-ISSUE FOR APPROVAL - COUNCIL COMMENTS	20.04.18	DW	MB		(A LIMITED PARTNERSHI
В	ISSUE FOR APPROVAL	28.11.17	JH	MB		
А	ISSUE FOR REVIEW	21.11.17	DW	MB		P.O. BOX 3543
Issue	Description	Date	Drawn	Approved		LOGANHOLME QLD, 4129
1 0	1cm at full size 10cm			20cm		PHONE : (07) 3440 9000



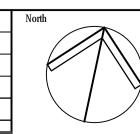






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-1 0	1cm at full size			20cm	



ALDI STORES (A LIMITED PARTNERSHIP)

P.O. BOX 3543 LOGANHOLME QLD, 4129 PHONE : (07) 3440 9000

DUMARESQ STREET



PHONE : 9909 3344

Architect LEFFLER SIMES ARCHITECTS



ACOR Consultants Pty Ltd Suite 2, Level 1, 33 Herbert Street St Leonards NSW 2065 T +61 2 9438 5098
Project
PROPOSED MIXED USE DEVELOPMENT













CATCHMENT 1

AREA = 1984mf DRAINS TO OSD IMPERVIOUS AREA = 1919m² PERVIOUS AREA = 65m²

CATCHMENT 2

AREA = 166m² **BYPASS - DRAINS TO RADFORD PLACE** IMPERVIOUS AREA = 80m² PERVIOUS AREA = 86m²

CATCHMENT 3 AREA = 117mf BYPASS - DRAINS TO DUMARESQ PLACE IMPERVIOUS AREA = 63m² PERVIOUS AREA = 54m²

CATCHMENT 4 AREA = 9007 BYPASS - DRAINS TO **RADFORD PLACE** IMPERVIOUS AREA = 90m² PERVIOUS AREA = Onf

NOT FOR CONSTRUCTION

Drawing Title STORMWATER CATCHMENT AREA

Drawn	Date	Scale	A1	Q.A. Check	Date
DW	SEPT 2018	1:200			
Designed	Project No.			Dwg. No.	Issue
MB	SY16	0311		C5.01	Α



ACOR CONSULTANTS ENGINEERS MANAGERS INFRASTRUCTURE PLANNERS DEVELOPMENT CONSULTANTS ACN 079 306 246

DRAWING TRANSMITTAL

PROJECT NAME ALDI GORI 810 PACIFI	DON, NSW C HIGHWAY			JOE	No.	SY1	6031	1	Dis	cipli	ne	CIV	Sł	neet	1	Of	1
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NOTES SHEET		C1.02	Α	В	С												
DETAILS - SHEET 1		C1.05	Α	В	С												
DETAILS - SHEET 2		C1.06	Α	В	С			D									
DETAILS - SHEET 3		C1.07	Α	В	С												
CIVIL WORKS PLAN - LOADING DOCI	ĸ	C2.01	Α	в	С	D	Е										
CIVIL WORKS PLAN - GROUND FLOO	R	C2.02	Α	В	С												
CIVIL WORKS PLAN - LEVEL ONE		C2.03	Α	В	С												
SOIL EROSION & SEDIMENT CONTRO	OL PLAN	C3.01	Α	В	С												
LOADING DOCK DRIVEWAY LONGSE	CTION	C4.01				Α											
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A - Approval B - Pricing	C - Construction		_	_	_	_	_										
M - Amended P - Preliminary	Q - Requested		R	Α	A	A	Α										
R - Review T - Tender	X - Informatior	1															
	Authorise	d By :	MB	MB	MB	MB	MB										

PROPOSED MIXED USE DEVELOPMENT 810 PACIFIC HIGHWAY, GORDON NSW 2072 **CIVIL SERVICES**

CI	VIL LEGEND
• P19.46	PROPOSED FINISH SURFACE LEVEL
• EX19.46 IL 15.00	EXISTING SURFACE LEVEL PROPOSED INVERT LEVEL
CL 16.60	PROPOSED COVER / LID LEVEL
	STORMWATER PIT
S W Ø100	STORMWATER DRAINAGE LINE WITH SIZE
RW	ROOFWATER DRAINAGE
	OSD TANK
	RAIN WATER TANK STORAGE
	GRATED DRAIN
° Db	DOWNPIPE
Ø ^{RWO}	RAINWATER OUTLET
	OVER FLOW PATH

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					North	ALDI STORES				
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Α	ISSUE FOR REVIEW	21.11.17	JH	BM		P.O. BOX 3543				
Issue	Description	Date	Drawn	Approved		LOGANHOLME QLD, 4129				
1 0	1cm at full size10cm			20cm		PHONE : (07) 3440 9000				



LEFFLER SIMES ARCHITECTS

YOUNG STREET

PHONE : 9909 3344

NEUTRAL BAY, SYDNEY 2089



ACOR Consultants Pty Ltd Project Strifte 2 Level 1 33 Herbert Street PROPOSED MIXED USE DEVELOPMENT St Leonards NSW 2065 T +61 2 9438 5098

CONSULTANTS ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

810 PACIFIC HWY GORDON, NSW



DRAWING LIST

C1.01	COVER SHEET & LEGENDS
C1.02	NOTES SHEET
C1.05	DETAILS - SHEET 1
C1.06	DETAILS - SHEET 2
C1.07	DETAILS - SHEET 3
C2.01	CIVIL WORKS PLAN - LOADING DOCK
C2.02	CIVIL WORKS PLAN - GROUND FLOOR
C2.03	CIVIL WORKS PLAN - LEVEL ONE
C3.01	SOIL EROSION & SEDIMENT CONTROL PLAN
C4.01	LOADING DOCK DRIVEWAY - LONGITUDINAL SECTION
C4.02	CARPARK DRIVEWAY - LONGITUDINAL SECTION



LOCALITY PLAN N.T.S.

MAP DATA © 2016 GOOGLE

DIAL BEFORE YOU DIG



IMPORTANT: THE CONTRACTOR IS TO MAINTAIN A CURRENT SET OF "DIAL BEFORE YOU DIG" DRAWINGS ON SITE AT ALL TIMES.

NOT FOR CONSTRUCTION

Drawing Title **COVER SHEET & LEGENDS**

Drawn	Date	Scale	A1	Q.A. Check		Date	19pm
JH	OCT 2017	N/A		NP	28.11.1		8 - 4:1
Designed	Project No.			Dwg. No.		Issue	201
MB	SY16	SY160311				C	Apr 20,

GENERAL NOTES

- 1. THESE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS. WHERE DISCREPANCIES ARE FOUND ACOR CONSULTANTS MUST BE CONTACTED IMMEDIATELY FOR VERIFICATION
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES

EXISTING SERVICES AND FEATURES

- 1. THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION, REMOVAL AND DISPOSAL IF REQUIRED OF ALL EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA, AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
- 2. THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
- 3. PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN WRITTEN APPROVAL OF HIS PROGRAMME FOR THE RELOCATION/CONSTRUCTION OF TEMPORARY SERVICES.
- 4. EXISTING BUILDINGS, EXTERNAL STRUCTURES, AND TREES SHOWN ON THESE DRAWINGS ARE FEATURES EXISTING PRIOR TO ANY DEMOLITION WORKS.
- CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
- INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. CONTRACTOR TO GAIN APPROVAL OF SUPERINTENDENT FOR TIME OF INTERRUPTION

SUBGRADE PREPARATION

- 1. REMOVE ALL TOPSOIL, VEGETABLE MATTER AND RUBBLE
- 2. PROOF ROLL NATURAL SURFACE.
- 3. REMOVE ANY SOFT AREAS.
- 4. PLACE APPROVED NON ORGANIC FILL WITH A MAXIMUM PARTICLE SIZE OF 75mm AND COMPACT IN 200mm MAX. THICK LAYERS. U.N.O.
- 5. COMPACTION IS TO BE CARRIED OUT BY ROLLING AT OPTIMUM MOISTURE CONTENT TO OBTAIN A DENSITY EQUIVALENT TO 98% OF MAXIMUM DRY DENSITY WHEN TESTED BY THE STANDARD COMPACTION TEST. No. E1.1 FROM A.S. 1289.
- 6. COMPACTION SHALL BE CARRIED OUT WITH A VIBRATING ROLLER WITH AT LEAST 10 TONNE STATIC WEIGHT.
- 7. TESTING OF THE SUBGRADE SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. REGISTERED LABORATORY

COMPACTION NOTES

Description

- 1. STRIP TOPSOIL TO EXPOSE NATURALLY OCCURRING MATERIAL AND STOCKPILE ON SITE FOR SELECTIVE RE-USE OR DISPOSE OFF-SITE AS DIRECTED BY THE SUPERINTENDENT.
- WHERE FILLING IS REQUIRED TO ACHIEVE DESIGN SUBGRADE PROOF ROLL EXPOSED NATURAL SURFACE WITH A MINIMUM OF TEN PASSES OF A VIBRATING ROLLER (MINIMUM STATIC WEIGHT OF 10 TONNES) IN THE PRESENCE OF THE SUPERINTENDENT. REFER TO SPECIFICATION FOR DETAILS.
- ALL SOFT. WET OR UNSUITABLE MATERIAL TO BE REMOVED AS DIRECTED BY THE SUPERINTENDENT AND REPLACED WITH APPROVED MATERIAL SATISFYING THE REQUIREMENTS LISTED BELOW.
- 4. ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING :
 - a. FREE FROM ORGANIC, PERISHABLE AND CONTAMINATED MATTER b. MAXIMUM PARTICLE SIZE 75MM
 - c. PLASTICITY INDEX BETWEEN 2% AND 15%
- 5. ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM 200MM THICK LAYERS AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+ OR - 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS 1289 E3.1 OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 E1.1:

LOCATION	STANDARD DRY DENSITY
UNDER BUILDING SLABS	98%
AREAS OF SERVICE TRENCHES	98%
EXTERNAL PAVED AREAS, ROADS AND C	ARPARKS 98%
LANDSCAPED AREAS	90%

- 6. THE CONTRACTOR SHALL PROGRAM THE EARTHWORKS OPERATION SO THAT THE WORKING AREAS ARE ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION. THE SURFACE SHALL BE GRADED AND SEALED OFF TO REMOVE DEPRESSIONS, ROLLER MARKS AND SIMILAR WHICH WOULD ALLOW WATER TO POND AND PENETRATE THE UNDERLYING MATERIAL. ANY DAMAGE RESULTING FROM THE CONTRACTOR NOT OBSERVING THESE REQUIREMENTS SHALL BE RECTIFIED BY THE CONTRACTOR AT THEIR COST.
- 7. TESTING OF THE SUBGRADE SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY AT THE CONTRACTORS EXPENSE.

SITEWORKS NOTES

- 1. ORIGIN OF LEVELS :- AUSTRALIAN HEIGHT DATUM (A.H.D.)
- 2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE PRINCIPAL'S REPRESENTATIVE.
- EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE PRINCIPAL'S REPRESENTATIVE. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
- 6. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER COMMUNICATIONS OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- 8. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH AN APPROVED NON-NATURAL GRANULAR MATERIAL AND COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS.1289.5.1.1.
- 9. ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- 10. ON COMPLETION OF PIPE INSTALLATION ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS.
- 11. PROVIDE 12mm WIDE EXPANDING CORK JOINTS BETWEEN CONCRETE PAVEMENTS AND ALL BUILDINGS, WALLS, FOOTINGS, COLUMNS, KERBS, DISH DRAINS, GRATED DRAINS, BOLLARD FOOTINGS ETC
- 12. CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS.
- 13. ALL BATTERS TO BE GRASSED LINED WITH MINIMUM 100 TOPSOIL AND APPROVED COUCH LAID AS TURF.
- 14. MAKE SMOOTH TRANSITION TO EXISTING SERVICES AND MAKE GOOD.
- 15. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND MOUNDS TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE DRAINING AND WHERE NECESSARY EXCAVATE SUMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS.
- 16. THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- 17. TRENCHES THROUGH EXISTING ROAD AND CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE AND A MIN 50mm IN BITUMINOUS PAVING.
- 18. ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN Ø80 UPVC SEWER GRADE CONDUTIS EXTENDING A MIN OF 500 mPAST PAVING.
- 19. ON COMPLETION OF WORKS ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL INCLUDING, BUT NOT LIMITED TO, KERBS, FOOTPATHS, CONCRETE AREAS, GRASS AND LANDSCAPED AREAS.

STORMWATER NOTES

- 1. ALL 375 DIA. DRAINAGE PIPES AND LARGER SHALL BE CLASS "2" APPROVED SPIGOT AND SOCKET FRC OR RCP PIPES WITH RUBBER RING JOINTS. (U.N.O.) ALL DOWNPIPE DRAINAGE LINES SHALL BE SEWER GRADE UPVC WITH SOLVENT WELD JOINTS. (U.N.O.)
- 2. EQUIVALENT STRENGTH REINFORCED CONCRETE PIPES MAY BE USED.
- 3. ALL PIPE JUNCTIONS UP TO AND INCLUDING 450 DIA. AND TAPERS SHALL BE VIA PURPOSE MADE FITTINGS.
- MINIMUM GRADE TO STORMWATER LINES TO BE 1%. (U.N.O.)
- CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS 5. PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
- 6. ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
- PRECAST PITS SHALL NOT BE USED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE SUPERINTENDENT.
- WHERE TRENCHES ARE IN ROCK, THE PIPE SHALL BE BEDDED ON A MIN. 50MM CONCRETE 8. BED (OR 75MM THICK BED OF 12MM BLUE METAL) UNDER THE BARREL OF THE PIPE. THE PIPE COLLAR AT NO POINT SHALL BEAR ON THE ROCK. IN OTHER THAN ROCK, PIPES SHALL BE LAID ON A 75MM THICK SAND BED. IN ALL CASES BACKFILL THE TRENCH WITH SAND TO 200MM ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL COMPACTED IN 150MM LAYERS TO 98% STANDARD MAX. DRY DENSITY.
- 9. BEDDING SHALL BE (U.N.O.) TYPE H1, IN ACCORDANCE WITH CURRENT RELEVANT AUSTRALIAN STANDARDS.
- 10. WHERE STORMWATER LINES PASS UNDER FLOOR SLABS SEWER GRADE RUBBER RING JOINTS ARE TO BE USED.
- 11. WHERE SUBSOIL DRAINAGE LINES PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS UNSLOTTED UPVC SEWER GRADE PIPE SHALL BE USED.
- 12. PROVIDE 3.0M LENGTH OF 100 DIA. SUBSOIL DRAINAGE PIPE WRAPPED IN FABRIC SOCK, AT UPSTREAM END OF EACH PIT.

Date Drawn

Approved

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P.O. BOX 3543 LOGANHOLME QLD, 4129 PHONE : (07) 3440 9000

ALDI STORES

A LIMITED PARTNERSHIP)

CONCRETE NOTES

CONTRACT DOCUMENTS.

4. IN CASE OF DOUBT - ASK.

LOCATION

4. CONSOLIDATE BY VIBRATION

2. USE "A.C.S.E. SPECIFICATION TYPE A" CEMENT.

ALL KERB PITS

VEHICULAR

PAVEMENTS

ETC.

AS.3600.

DESIGN LOADS

1. N/A

CONCRETE

1. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH AS 3600 CURRENT EDITIONS WITH

1. PLACE CONCRETE OF THE FOLLOWING CHARACTERISTIC COMPRESSIVE STRENGTH F"C AS

3. ALL CONCRETE SHALL BE SUBJECT TO PROJECT CONTROL SAMPLE AND TESTING TO

AS.3600 F'c

MPa AT 28 DAYS

DEFINED IN AS.3600 OR M.R. FORM 609. ADD WATER REDUCING ADMIXTURE EQUAL TO WRDA.

SPECIFIED SLUMP

NOMINAL

AGG. SIZE

20

2. VERIFY ALL SETTING OUT DIMENSIONS WITH THE ARCHITECT AND/OR THE SURVEYOR.

3. DO NOT OBTAIN DIMENSIONS BY SCALING THE DRAWINGS.

AMENDMENTS, AND THE ACSE CONCRETE SPECIFICATION EXCEPT WHERE VARIED BY THE

GENERAL

)		
R TO		

REINFORCEMENT 1. FIX REINFORCEMENT AS SHOWN ON DRAWINGS. THE TYPE AND GRADE IS INDICATED BY A SYMBOL AS SHOWN BELOW. ON THE DRAWING N IS FOLLOWED BY A NUMERAL WHICH INDICATES THE SIZE IN MILLIMETRES. A MARK NUMERAL (IF USED) FOLLOWS THIS NUMERAL N. HOT ROLLED DEFORMED BAR, GRADE 410Y S. HOT ROLLED DEFORMED BAR, GRADE 230S R. PLAIN ROUND BAR, GRADE 230R SL. HARD DRAWN WIRE FABRIC. 2. PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING CONCRETE COVER TO ALL **REINFORCEMENT UNLESS NOTED OTHERWISE.** FOOTINGS - 75 BOTTOM, 65 TOP AND SIDES SLABS - 20 TOP AND BOTTOM, 30 WHEN EXPOSED TO WEATHER. BEAMS - 50 BOTTOM AND SIDES (TO STIRRIPS) TOP COVER AS DETAILED COLUMNS - 40 TO TIES AND SPIRALS 50 WHEN EXPOSED TO WEATHER WALLS - 25 GENERALLY 30 WHEN CAST IN FORMS BUT LATER EXPOSED TO WEATHER OR

GROUND

- 65 WHEN CAST DIRECTLY IN CONTACT WITH GROUND.

<u>CURING</u>

1. CURE ALL CONCRETE IN ACCORDANCE TO THE METHOD PROVIDED IN THE SPECIFICATION.

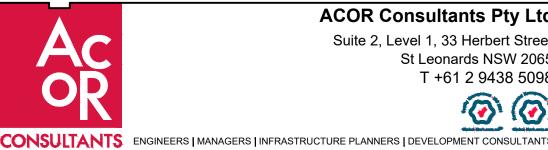
CONCRETE PAVEMENT NOTES

- 1. CONCRETE MIX PARAMETERS ;
- MAXIMUM AGGREGATE SIZE 20mm - FLEXURAL STRENGTH AT 28 DAYS = 3.5MPa
 - FLEXURAL STRENGTH AT 90 DAYS = 3.85 MPa
 - MAXIMUM WATER / CEMENT RATIO = 0.55- MAXIMUM SHRINKAGE LIMIT = 650 MICRON STRAINS
- (AS 1012 Pt 13)
- MINIMUM CEMENT CONTENT = 300kg/m3 - CEMENT TO BE TYPE "A" (NORMAL CEMENT) TO AS.1315
- SLUMP = 80mm
- 2. JOINT TO BE SAWN AS SOON AS CONCRETE HAS HARDENED SUFFICIENTLY THAT IT WILL NOT BE DAMAGED BY SAWING. IF AN UNPLANNED CRACK OCCURS THE CONTRACTOR SHALL REPLACE WHOLE SLABS EITHER SIDE OF THE UNPLANNED CRACK. UNLESS DIRECTED OTHERWISE.
- 3. CONSTRUCT JOINTS AS DETAILED
- 4. CONSTRUCTION JOINTS WHERE REQUIRED BUT NOT SHOWN, SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER AND CONSTRUCTED AT THE CONTRACTORS EXPENSE.
- 5. ALL LONGITUDINAL CONSTRUCTION JOINTS SHALL BE FORMED AND INCLUDE DOWEL BARS AS SPECIFIED. ALL TRANSVERSE CONSTRUCTION JOINTS SHALL BE FORMED AND INCLUDE DOWEL BARS AS SPECIFIED.
- 6. BOND BREAKER TO BE TWO (2) UNIFORM COATS OF BITUMEN EMULSION ALL OVER THE EXPOSED SURFACE AND ON END.
- 7. DOWELS AND TIE BARS TO MEET STRENGTH REQUIREMENTS OF STRUCTURAL GRADE STEEL IN ACCORDANCE AS. 1302. DOWELS AND TIE BARS SHALL BE ; - STRAIGHT
 - TO LENGTH SPECIFIED
 - CLEAN AND FREE FROM MILL SCALE, RUST AND OIL. - SAWN TO LENGTH NOT CROPPED.
- 8. DIMENSIONS OF SEALANT RESERVOIR DEPENDANT ON THE SEALANT TYPE ADOPTED. ENGINEERS APPROVAL TO BE OBTAINED FOR SEALANT AND RESERVOIR DIMENSIONS AND DETAIL PROPOSED BY THE CONTRACTOR. REFER DETAIL "B" FOR TYPICAL ARRANGEMENT
- 9. PRIOR TO THE PLACEMENT OF CONCRETE IN THE ADJACENT SLAB, SELF EXPANDING CORK FILLER SHALL BE ADHERED TO THE ALREADY CAST AND CLEANED CONCRETE FACE USING AN APPROVED WATERPROOF ADHESIVE. ADHESIVE SHALL BE LIBERALLY APPLIED TO THE FULL FACE OF THE CONCRETE SLAB TO BE COVERED BY THE FILLER, AND ON THE FULL FACE OF THE FILLER TO BE ADHERED.
- 10. REFER TO COMPACTION NOTES FOR PREPARATION OF SUB-BASE AND SUB-GRADE.
- 11. ALL WORK TO BE BROOM FINISH.

AND SEALANT.



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EROSION EROSION & SEDIMENT CONTROL NOTES

GENERAL INSTRUCTIONS

- E1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.
- E2. THE SITE SUPERINTENDENT WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED IN THIS SPECIFICATION.
- E3. ALL BUILDERS AND SUB-CONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS.

CONSTRUCTION SEQUENCE

- E4. THE SOIL EROSION POTENTIAL ON THIS SITE SHALL BE MINIMISED. HENCE WORKS SHALL BE UNDERTAKEN IN THE FOLLOWING SEQUENCE :
- a. INSTALL SEDIMENT FENCES, TEMPORARY CONSTRUCTION EXIT AND SANDBAG KERB INLET SEDIMENT TRAP.
- b. UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

- E5. DURING WINDY CONDITIONS, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- E6. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

FENCING

- E7. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
- E8. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- E9. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
- E10. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

OTHER MATTERS

- E11. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
- E12. RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.

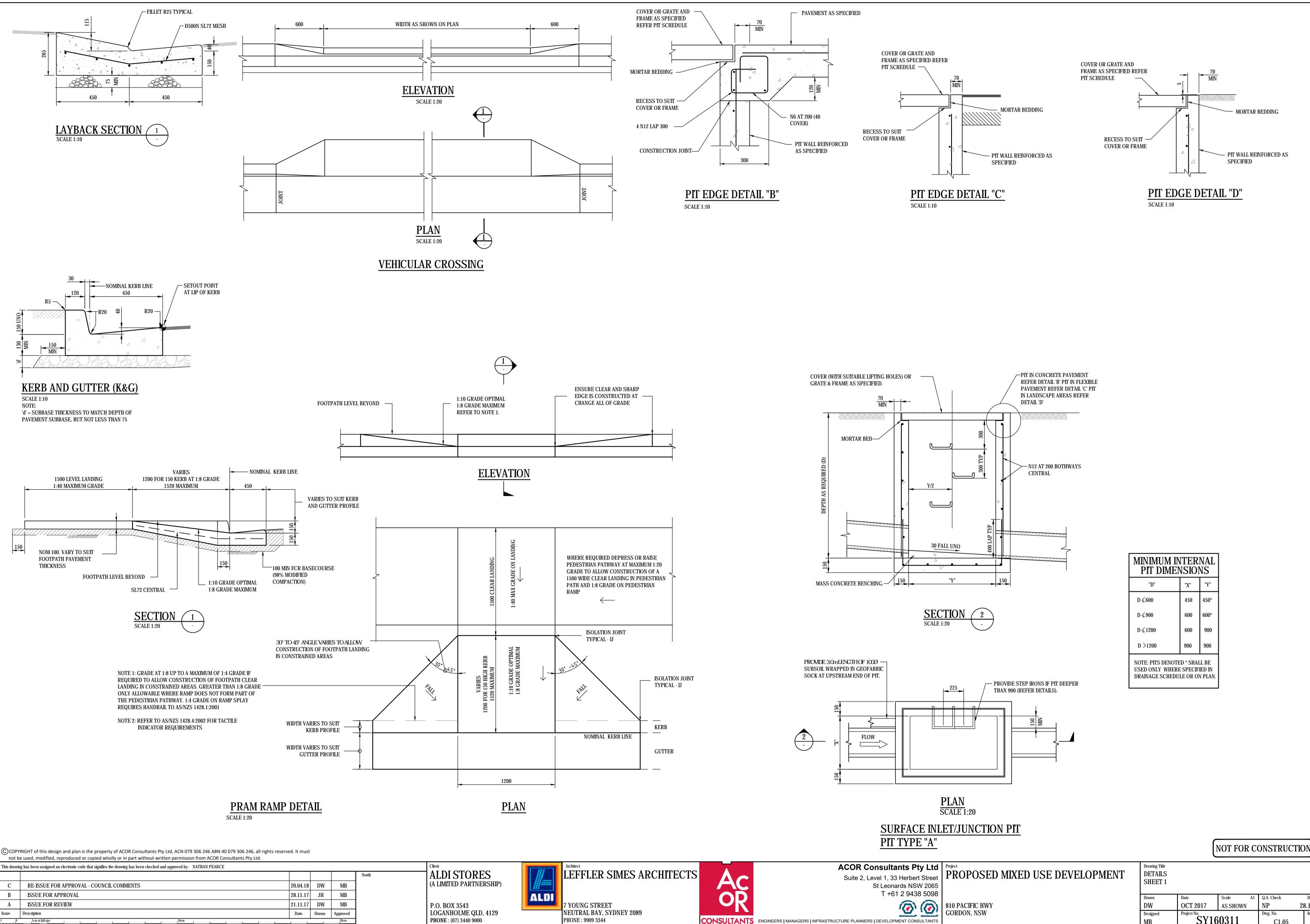
SITE INSPECTION & MAINTENANCE

E13. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AFTER RAINFALL EVENTS TO ENSURE THAT THEY OPERATE EFFECTIVELY. REPAIR AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED.

NOT FOR CONSTRUCTION

Drawing Title NOTES SHEET

Drawn	Date	Scale	A1	Q.A. Check		Date
JH	OCT 2017	N/A		NP	28.11.17	
Designed	Project No.			Dwg. No.		Issue
MB	SY16	<u>0311</u>		C1.02		C

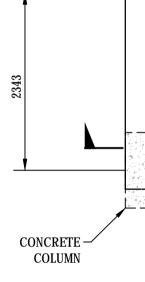


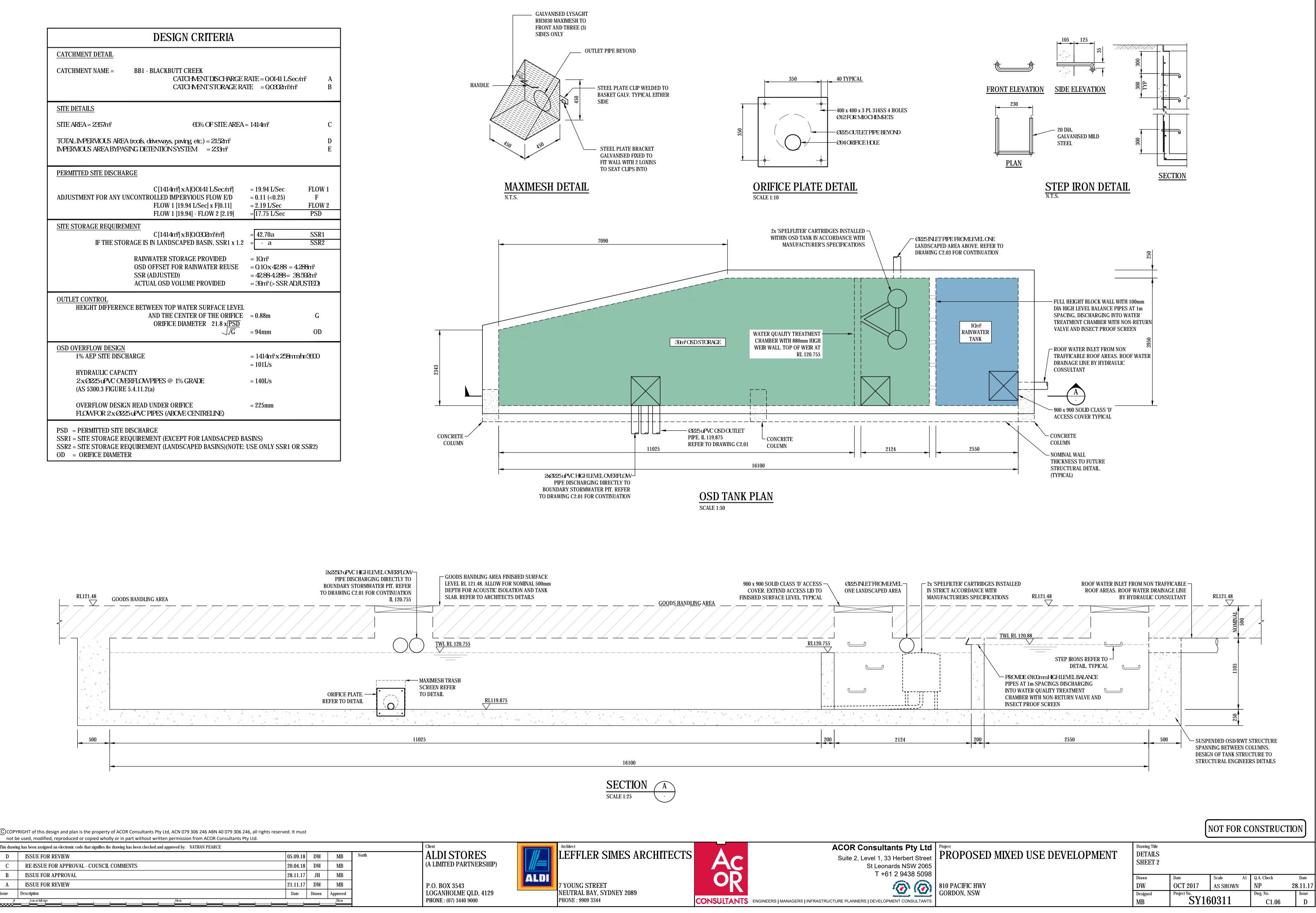
P.O. BOX 3543
LOGANHOLME QLD, 412
PHONE : (07) 3440 9000

MINIMUM INTERNAL PIT DIMENSIONS							
"D"	"X"	"Y"					
D ≼600	450	450*					
D ≼900	600	600*					
D ≼1200	600	900					
D >1200	900	900					
NOTE: PITS DENOTED * SHALL BE USED ONLY WHERE SPECIFIED IN DRAINAGE SCHEDULE OR ON PLAN.							

MB	SY16	0311		C1.05			Apr 20, 2
Designed	Project No.			Dwg. No.		Issue	201
DW	OCT 2017	AS SHOWN		NP	2	8.11.17	8 - 4:1
Drawn	Date	Scale	A1	Q.A. Check		Date	12pm
Drawing Title DETAILS SHEET 1							P:\SY16\SY1603

	DESIGN CRITERIA		
CATCHMENT DETAIL			
CATCHMENT NAME =	BB1 - BLACKBUTT CREEK CATCHMENT DISCHARGE CATCHMENT STORAGE RA		f I
SITE DETAILS			
SITE AREA = 2357m²	60% OF SITE AREA	= 1414m²	(
	EA (roofs, driveways, paving etc.) = 2152nf ASING DETENTION SYSTEM = 233nf]]
PERMITTED SITE DISCH	ARGE		
ADJUSTMENT FOR ANY	C[1414mf] x A[OO141 L/Sec/mf] UNCONTROLLED IMPERVIOUS FLOW E/D FLOW 1 [19.94 L/Sec] x F[0.11] FLOW 1 [19.94] - FLOW 2 [2.19]	= 19.94 L/Sec = 0.11 (<0.25) = 2.19 L/Sec = 17.75 L/Sec	FLOW 1 F FLOW 2 PSD
SITE STORAGE REQUIR	EMENT		
IF THE ST	C[1414mf] xB[QC3C2mf/mf] ORAGE IS IN LANDSCAPED BASIN, SSR1 x 1.2	= 42.70a = - a	SSR1 SSR2
	RAINWATER STORAGE PROVIDED OSD OFFSET FOR RAINWATER REUSE SSR (ADJUSTED) ACTUAL OSD VOLUME PROVIDED	$= 10m^{3}$ = 010x 4288 = 428 = 4288 4288 = 385 = 39m^{3} (> SSR ADJU	92m²
OUTLET CONTROL			
HEIGHT DIFFERE	NCE BETWEEN TOP WATER SURFACE LEVEL AND THE CENTER OF THE ORIFICE	= 0.88 m	G
	ORIFICE DIAMETER 21.8 x $\frac{PSD}{\sqrt{G}}$	= 94mm	OD
OSD OVERFLOW DESIG 1% AEP SITE DIS	CHARGE	= 1414m³ x 258mmh = 101L/s	r/3600
HYDRAULIC CAP 2xØ225uPVC O (AS 5300.3 FIGUR	VERFLOWPIPES @ 1% GRADE	= 140L/s	
	GN HEAD UNDER ORIFICE 225 uPVC PIPES (ABOVE CENIRELINE)	= 225mm	
	REQUIREMENT (EXCEPT FOR LANDSACPED B REQUIREMENT (LANDSCAPED BASINS)(NOTE:	,	SSR2)

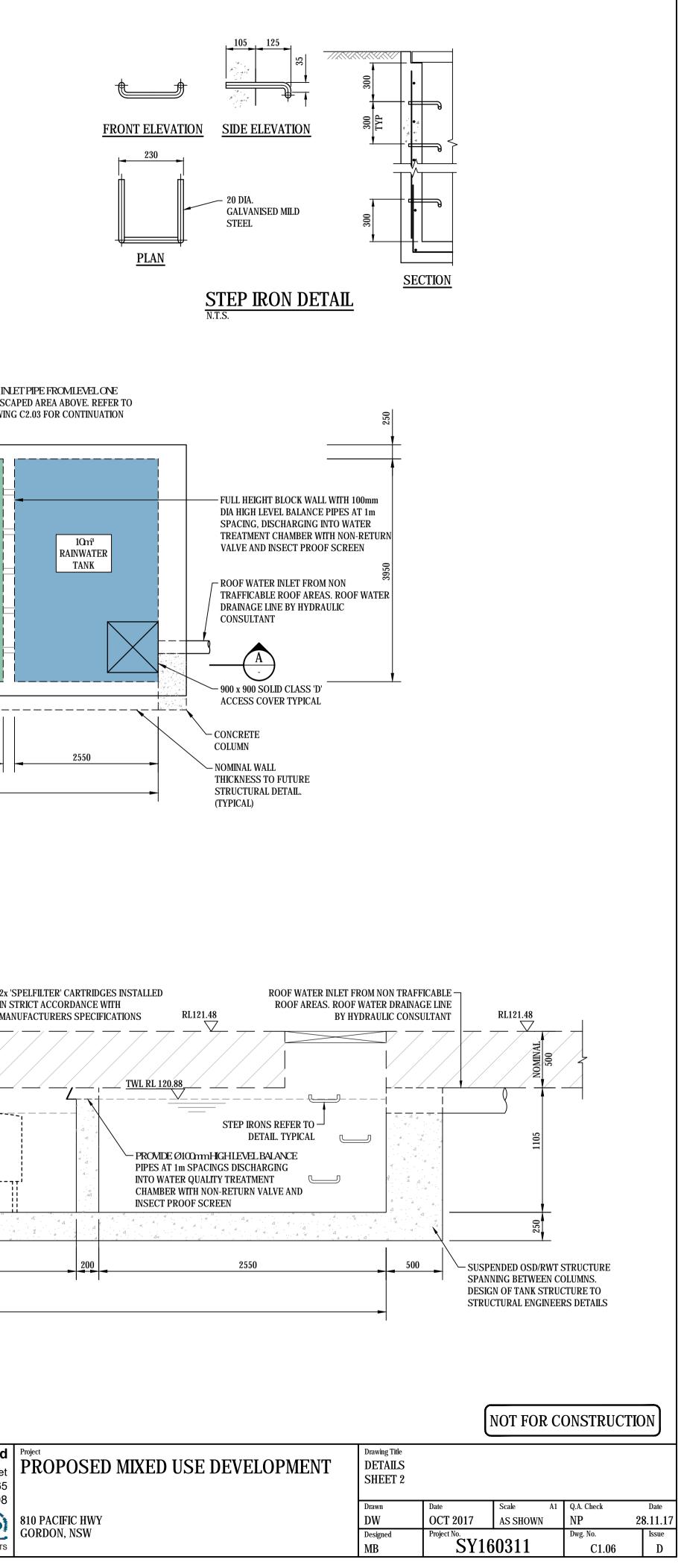


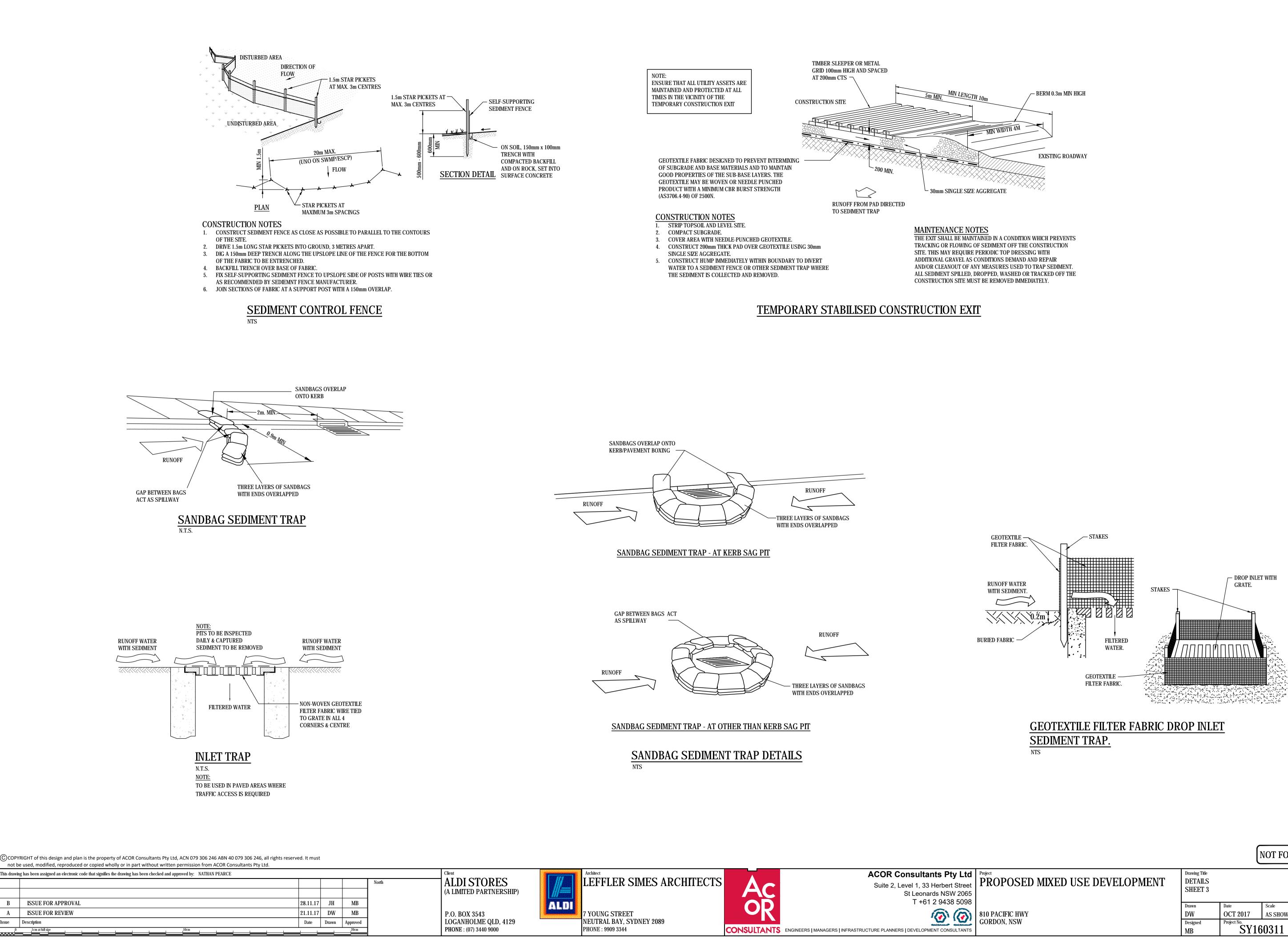


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D	ISSUE FOR REVIEW	05.09.18	DW	MB	North	ALDI STORES
С	RE-ISSUE FOR APPROVAL - COUNCIL COMMENTS	20.04.18	DW	MB		(A LIMITED PARTNERSHI
В	ISSUE FOR APPROVAL	28.11.17	JH	MB		
Α	ISSUE FOR REVIEW	21.11.17	DW	MB		P.O. BOX 3543
Issue	Description	Date	Drawn	Approved		LOGANHOLME QLD, 4129
1 0	1cm at full size10cm			20cm		PHONE : (07) 3440 9000

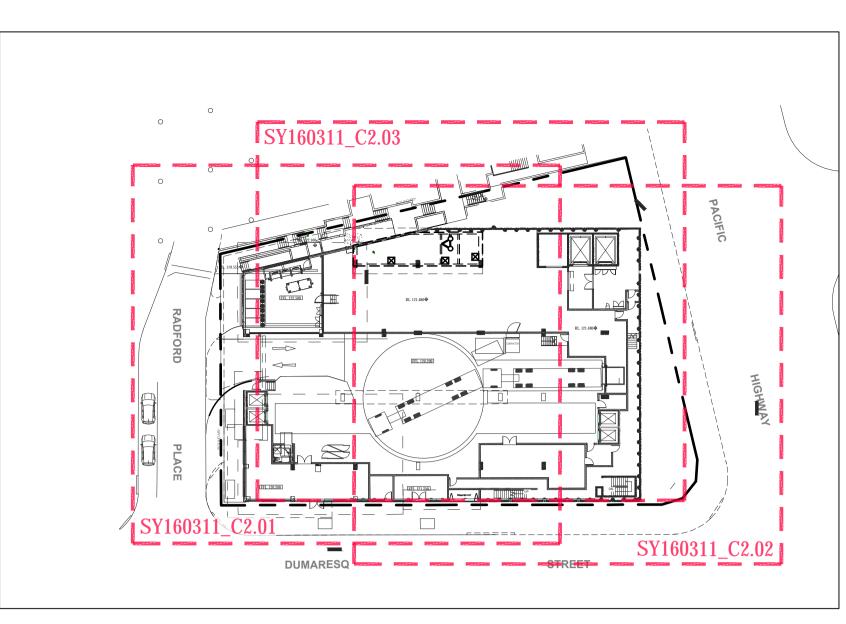






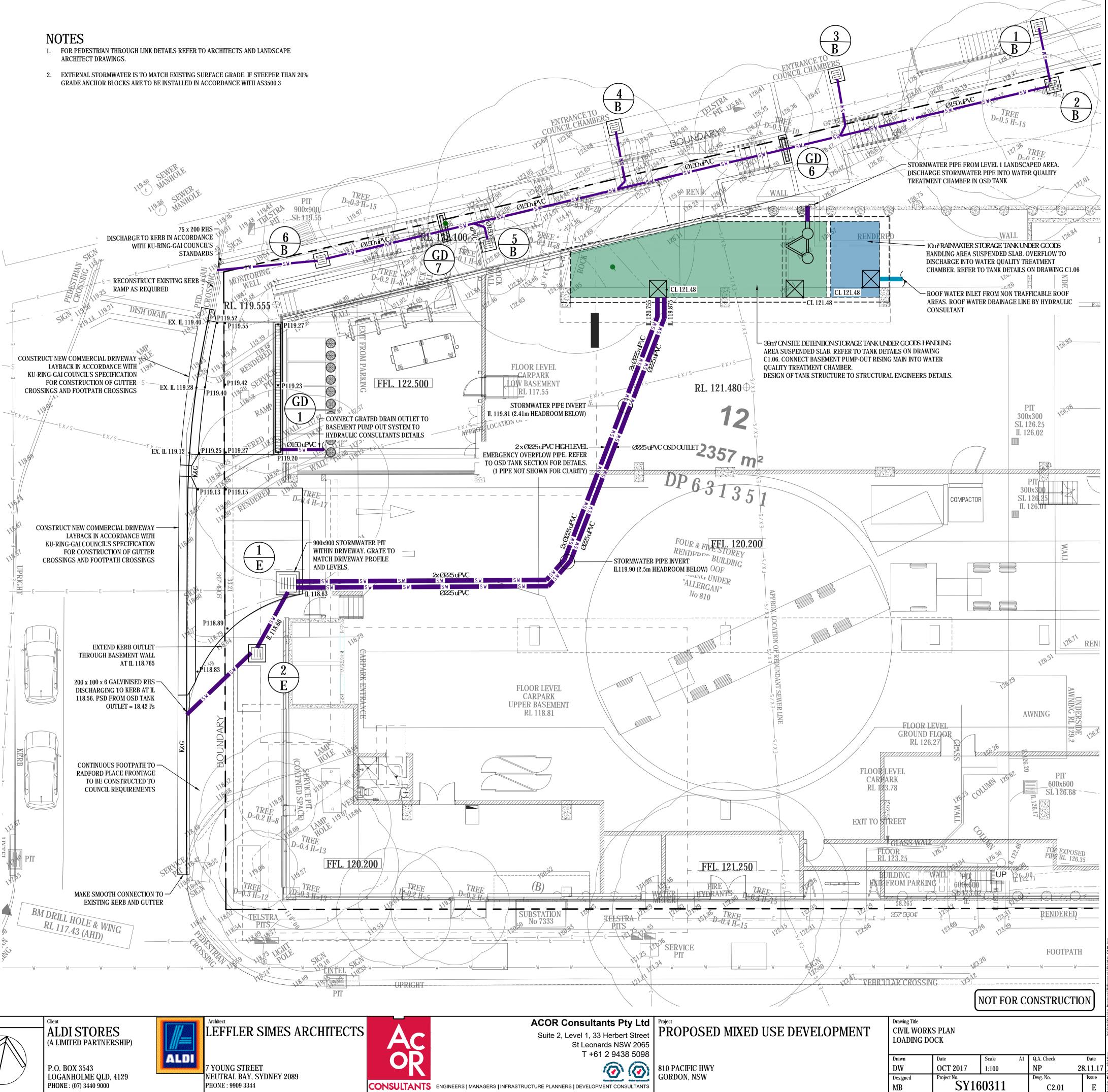


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XED USE DEVELOPMENT	Drawing Title DETAILS SHEET 3				DICATRICATO
	Drawn	Date	Scale A1	Q.A. Check	Date
	DW	OCT 2017	AS SHOWN	NP	28.11.17
	Designed	Project No.	-	Dwg. No.	Issue
	MB	SYI	60311	C1.07	B



KEY PLAN NTS

SCHED	SCHEDULE OF STORMWATER DRAINAGE STRUCTURES						
STRUCTURE NUMBER	NOTES						
1/E	900 x 900 SURFACE INLET PIT WITH CLASS 'D' GRATE AND FRAME						
2/E	600 x 600 SURFACE INLET PIT WITH CLASS 'D' GRATE AND FRAME						
B1	450 x 450 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME						
B2	450 x 450 SURFACE INLET PIT WITH ANTI-SLIP HEEL SAFE CLASS 'B' GRATE AND FRAME						
B3	450 x 450 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME						
B4	450 x 450 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME						
В5	450 x 450 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME						
B6	450 x 450 SURFACE INLET PIT WITH ANTI-SLIP HEEL SAFE CLASS 'B' GRATE AND FRAME						
GD/5	100mm WIDE x 100mm 'ACO KS100 GRATED DRAIN' OR EQUIVALENT ANTI-SLIP HEEL SAFE CLASS 'B' GRATE						
GD/6	100mm WIDE x 100mm 'ACO KS100 GRATED DRAIN' OR EQUIVALENT ANTI-SLIP HEEL SAFE CLASS 'B' GRATE						

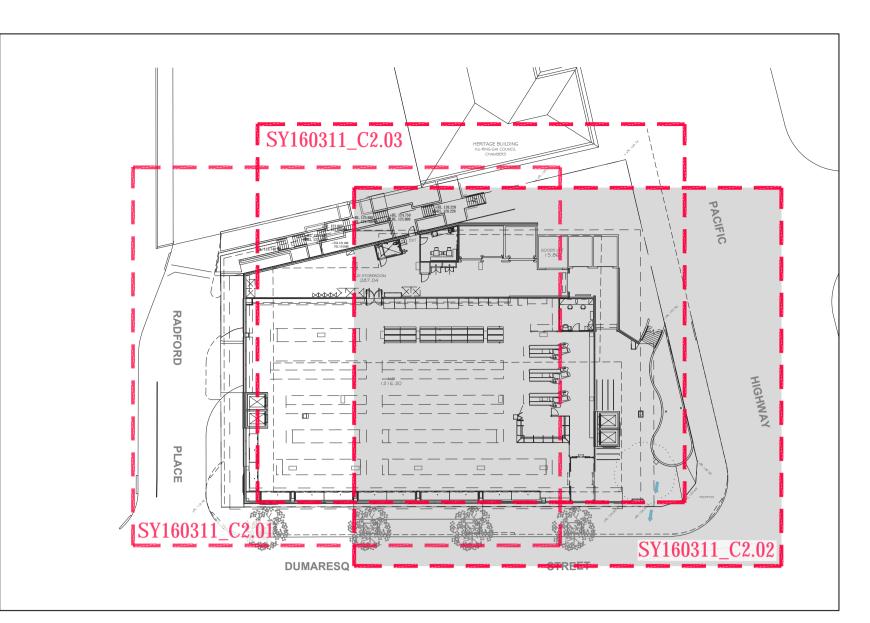


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E	RE-ISSUE FOR APPROVAL - EXTERNAL STORMWATER RELOCATED	24.04.18	DW	MB	North	ALDI STORES
D	RE-ISSUE FOR APPROVAL - UPDATED ARCHITECTURAL	23.04.18	DK	MB		(A LIMITED PARTNERS
С	RE-ISSUE FOR APPROVAL - COUNCIL COMMENTS	20.04.18	DW	MB		
В	ISSUE FOR APPROVAL	28.11.17	JH	MB		P.O. BOX 3543
Issue	Description	Date	Drawn	Approved		LOGANHOLME QLD, 41
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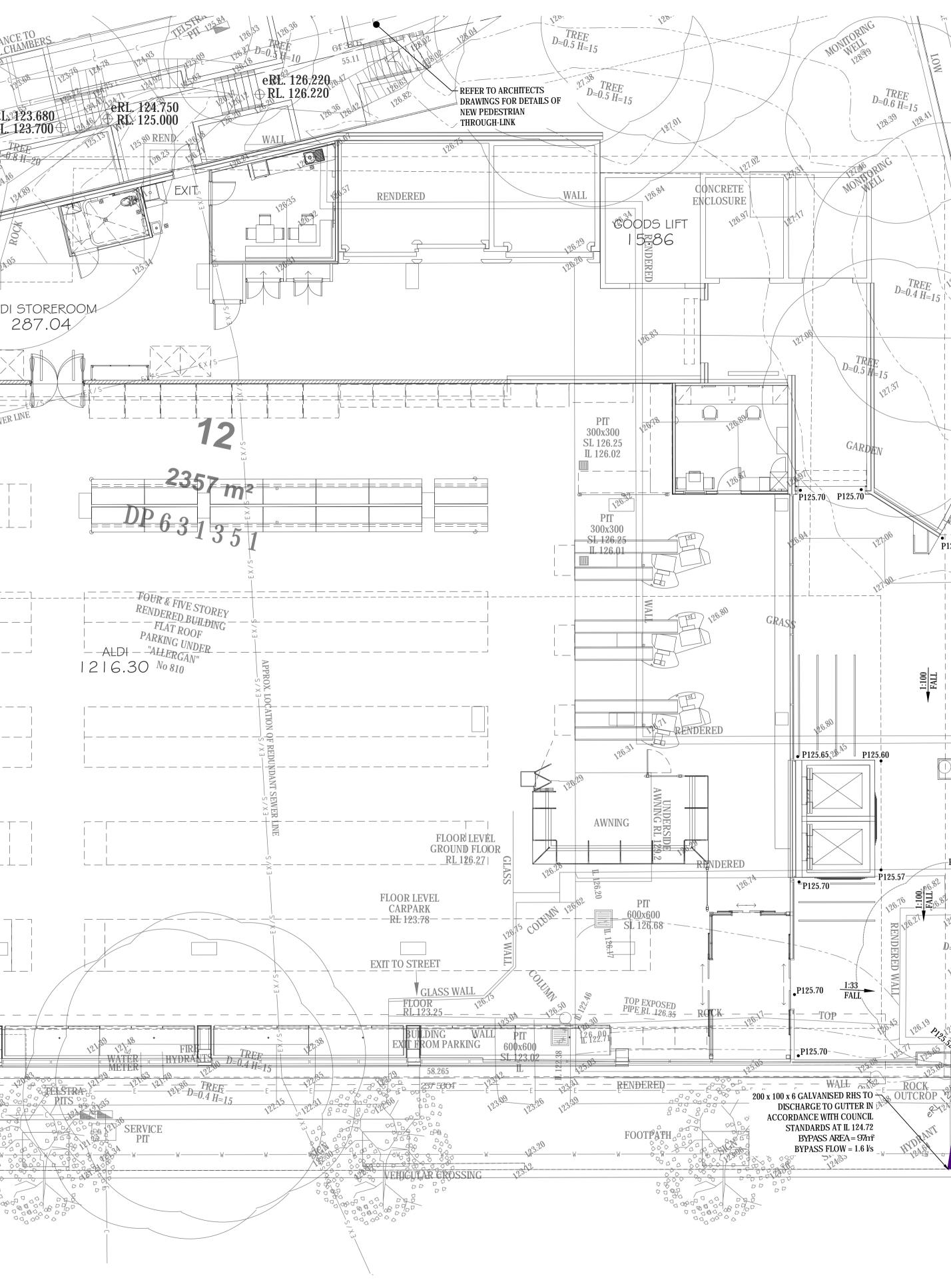
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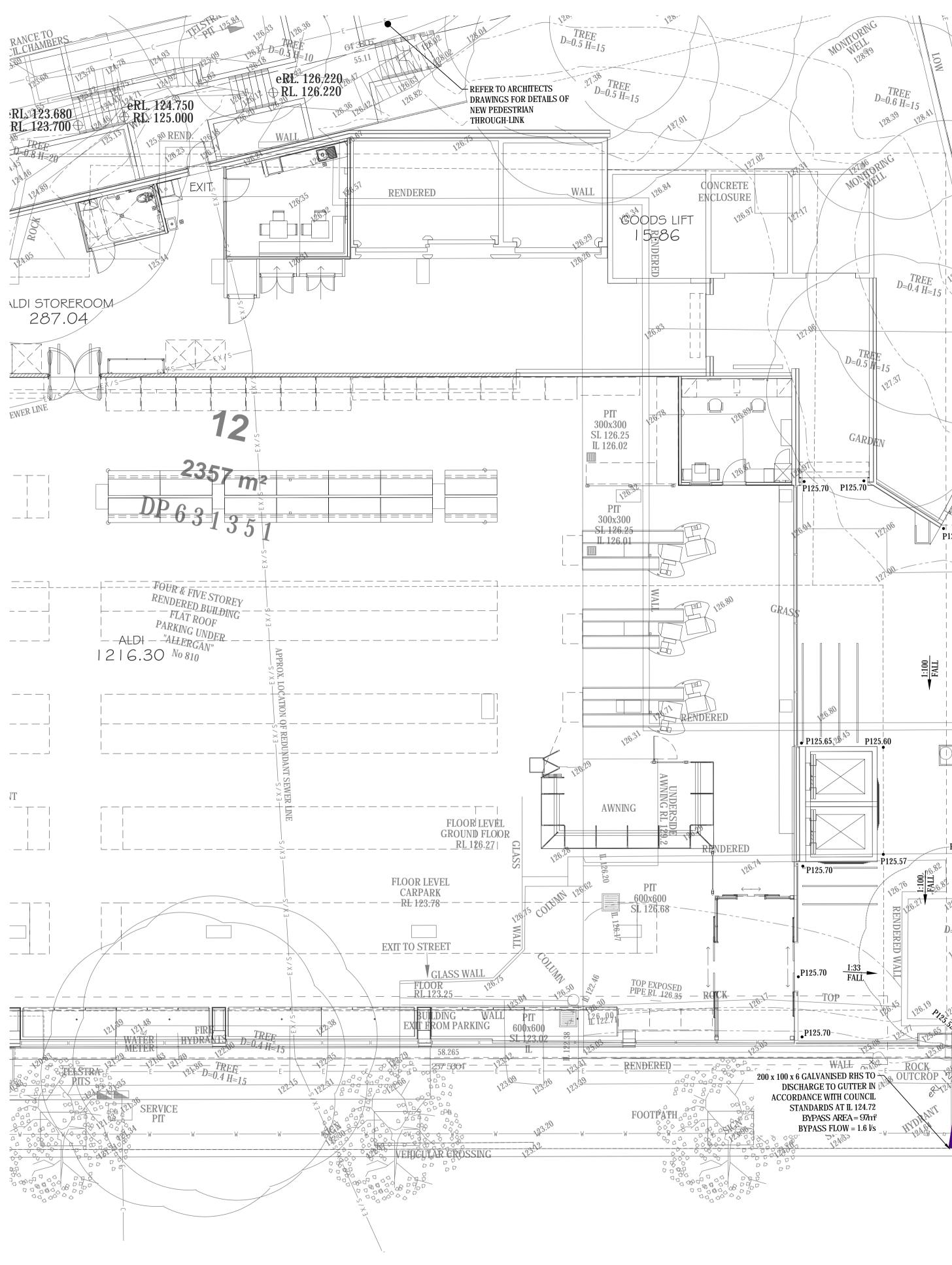
MB



KEY PLAN

SCHEDULE OF STORMWATER DRAINAGE STRUCTURES							
STRUCTURE NUMBER	NOTES						
1/C	1/C 600 x 600 SURFACE INLET PIT WITH ANTISLIP HEEL SAFE CLASS 'B' GRATE AND FRAME						
2/C	2/C 600 x 600 SURFACE INLET PIT WITH ANTISLIP HEEL SAFE CLASS 'B' GRATE AND FRAME						
3/C	600 x 600 SURFACE INLET PIT WITH ANTISLIP HEEL SAFE CLASS 'B' GRATE AND FRAME	PROVIDE SPEL STORM SACK LIITER BASKET TO PIT					





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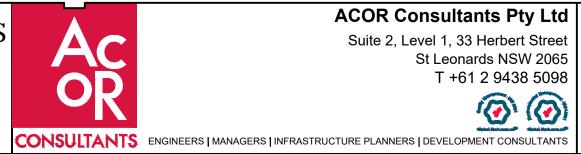
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					North
С	RE-ISSUE FOR APPROVAL - COUNCIL COMMENTS	20.04.18	DW	MB	
В	ISSUE FOR APPROVAL	28.11.17	JH	MB	
Α	ISSUE FOR REVIEW	21.11.17	DW	MB	
Issue	Description	Date	Drawn	Approved	
1 0	1cm at full size 10cm			20cm	





PHONE : 9909 3344





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	CIVIL WORKS PLAN

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Project No.

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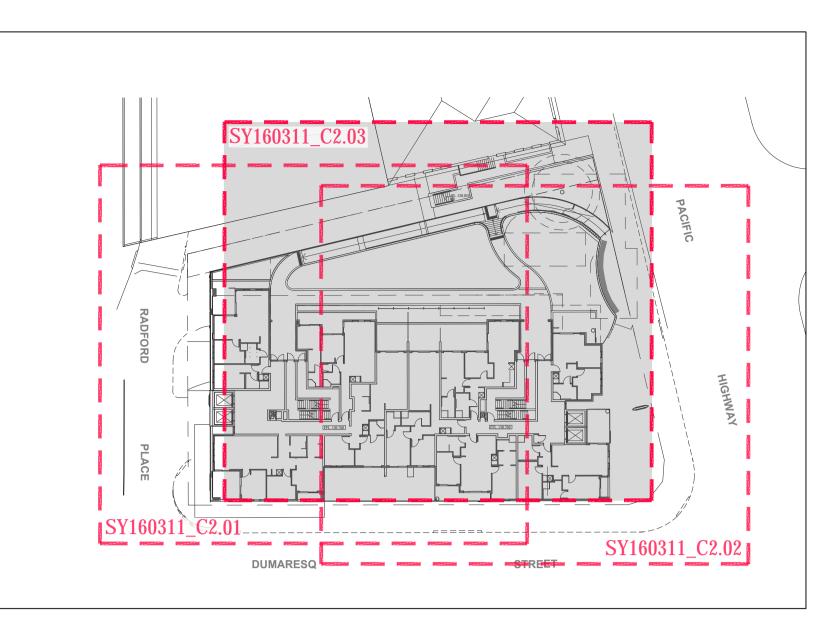
Designed

A1 Q.A. Check

NP

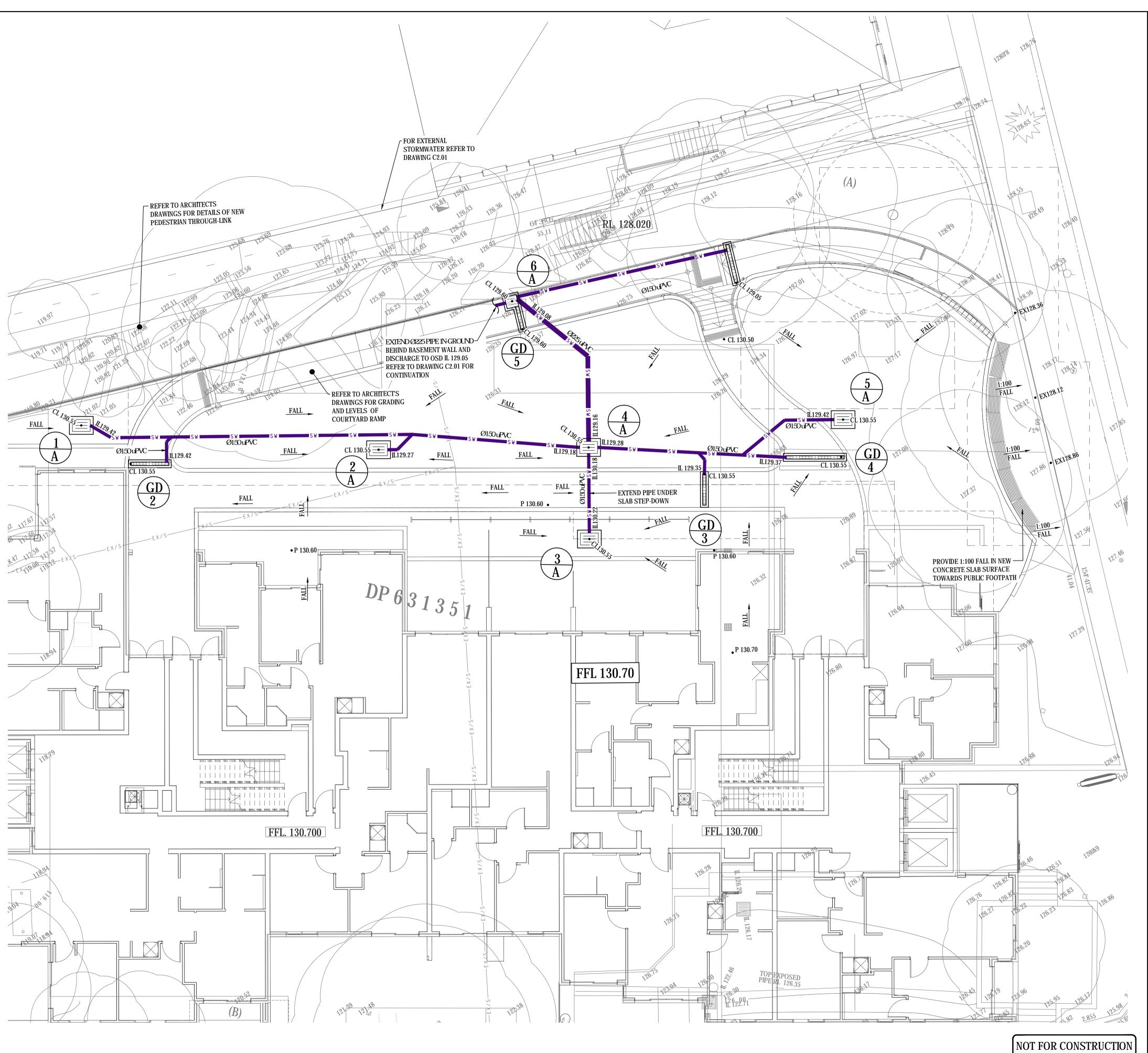
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C2.02



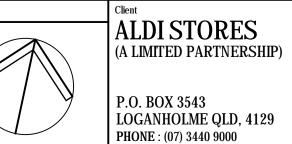
KEY PLAN

SCHEDULE OF STORMWATER DRAINAGE STRUCTURES						
STRUCTURE NUMBER	INTERNAL SIZE OF ACCESS OPENING CHAMBER AND COVER/GRATE AND FRAME TYPE	NOTES				
1/A	900 x 600 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME	PROVIDE SPEL STORM SACK LITTER BASKET TO PIT				
2/A	900 x 600 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME	PROVIDE SPEL STORM SACK LITTER BASKET TO PIT				
3/A	900 x 600 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME	PROVIDE SPEL STORM SACK LITTER BASKET TO PIT				
4/A	900 x 600 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME	PROVIDE SPEL STORM SACK LITTER BASKET TO PIT				
5/A	900 x 600 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME	PROVIDE SPEL STORM SACK LITTER BASKET TO PIT				
6/A	600 x 600 SURFACE INLET PIT WITH CLASS 'B' GRATE AND FRAME					
GD/1	200mm WIDE x 200mm 'ACO KS200 GRATED DRAIN OR EQUIVALENT WITH CLASS 'D' GRATE AND FRAME					
GD/2	100mm WIDE x 100mm 'ACO KS100 GRATED DRAIN' OR EQUIVALENT ANTI-SLIP HEEL SAFE CLASS 'B' GRATE					
GD/3	100mm WIDE x 100mm 'ACO KS100 GRATED DRAIN' OR EQUIVALENT ANTI-SLIP HEEL SAFE CLASS 'B' GRATE					
GD/4	100mm WIDE x 100mm 'ACO KS100 GRATED DRAIN' OR EQUIVALENT ANTI-SLIP HEEL SAFE CLASS 'B' GRATE	BASE OF CHANNEL TO DRAIN INTO ADJACENT PIT				
GD/5	100mm WIDE x 100mm 'ACO KS100 GRATED DRAIN' OR EQUIVALENT ANTI-SLIP HEEL SAFE CLASS 'B' GRATE					



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В	ISSUE FOR APPROVAL	28.11.17	JH	MB	
Α	ISSUE FOR REVIEW	21.11.17	DW	MB	
Issue	Description	Date	Drawn	Approved	
-1 0	1cm at full size			20cm	





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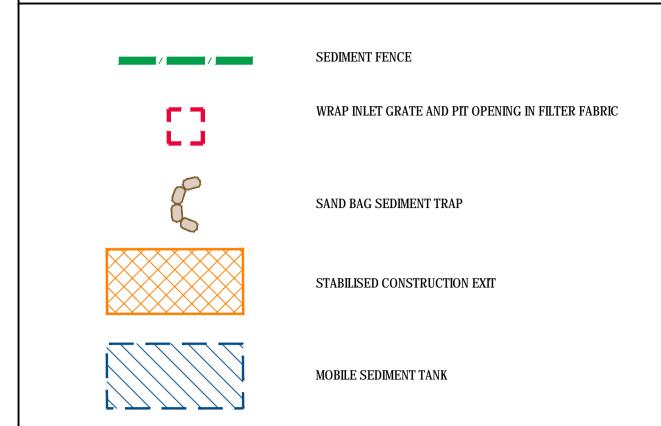


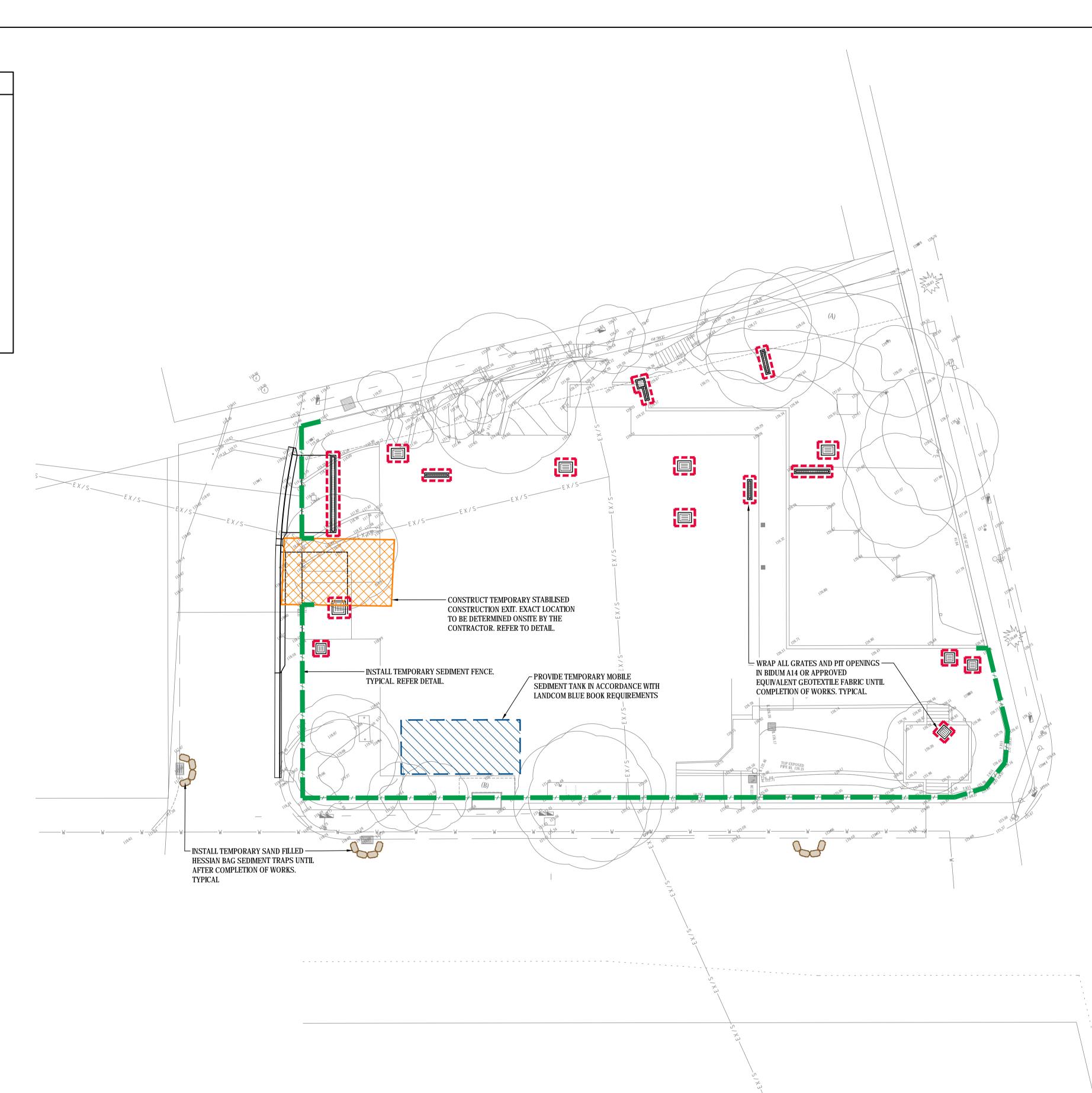
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Drawing Title LEVEL ONE CIVIL WORKS PLAN							
Drawn	Date	Scale	A1	Q.A. Check	Date		
DW	OCT 2017	1:100		NP	28.11.17		

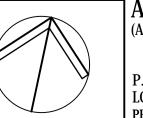
SOIL EROSION AND SEDIMENT CONTROL LEGEND





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ALDI STORES (A LIMITED PARTNERSHIP)

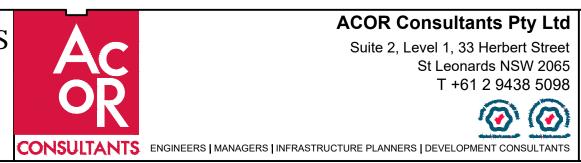
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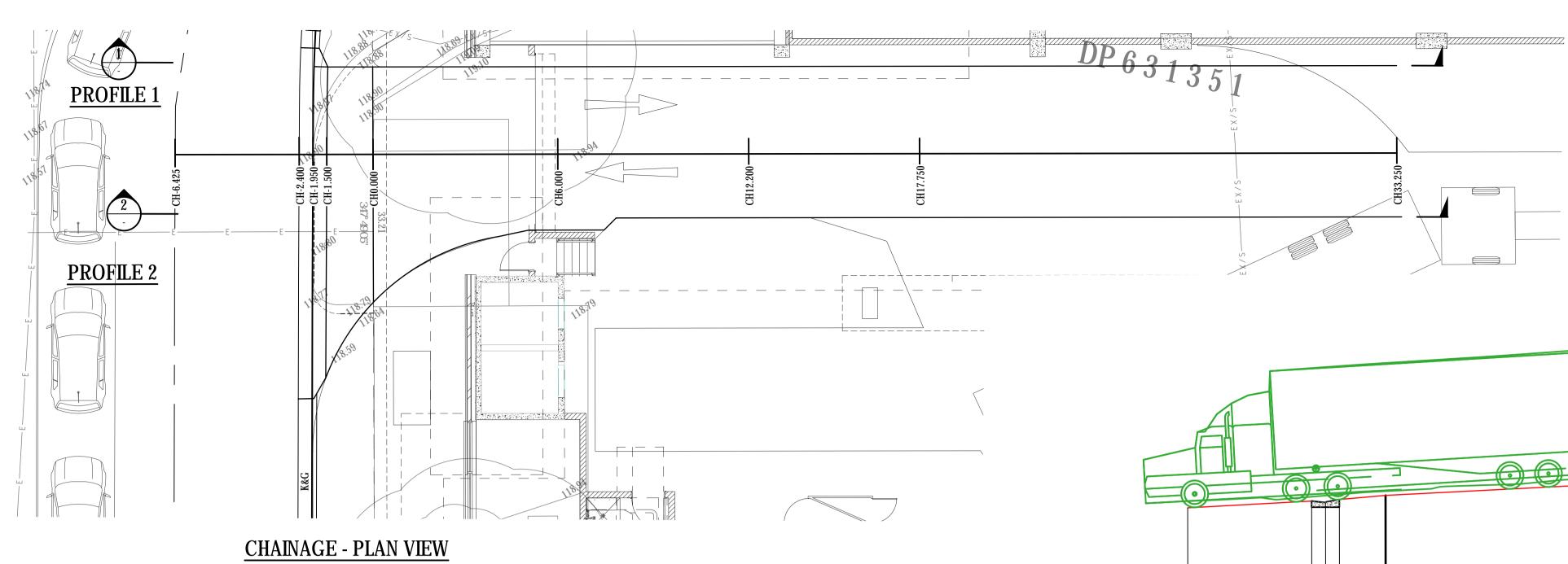


Drawing Title SOIL EROSION & SEDIMENT CONTROL PLAN

Drawn	Date	Scale	A1	Q.A. Check	Date Date 4:15
DW	OCT 2017	1:200		NP	28.11.17
Designed	Project No.			Dwg. No.	Issue 8
MB	SY16	0311	C3.01	Issue C 102, 201 L 202, 202	

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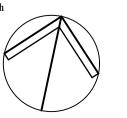
227.58



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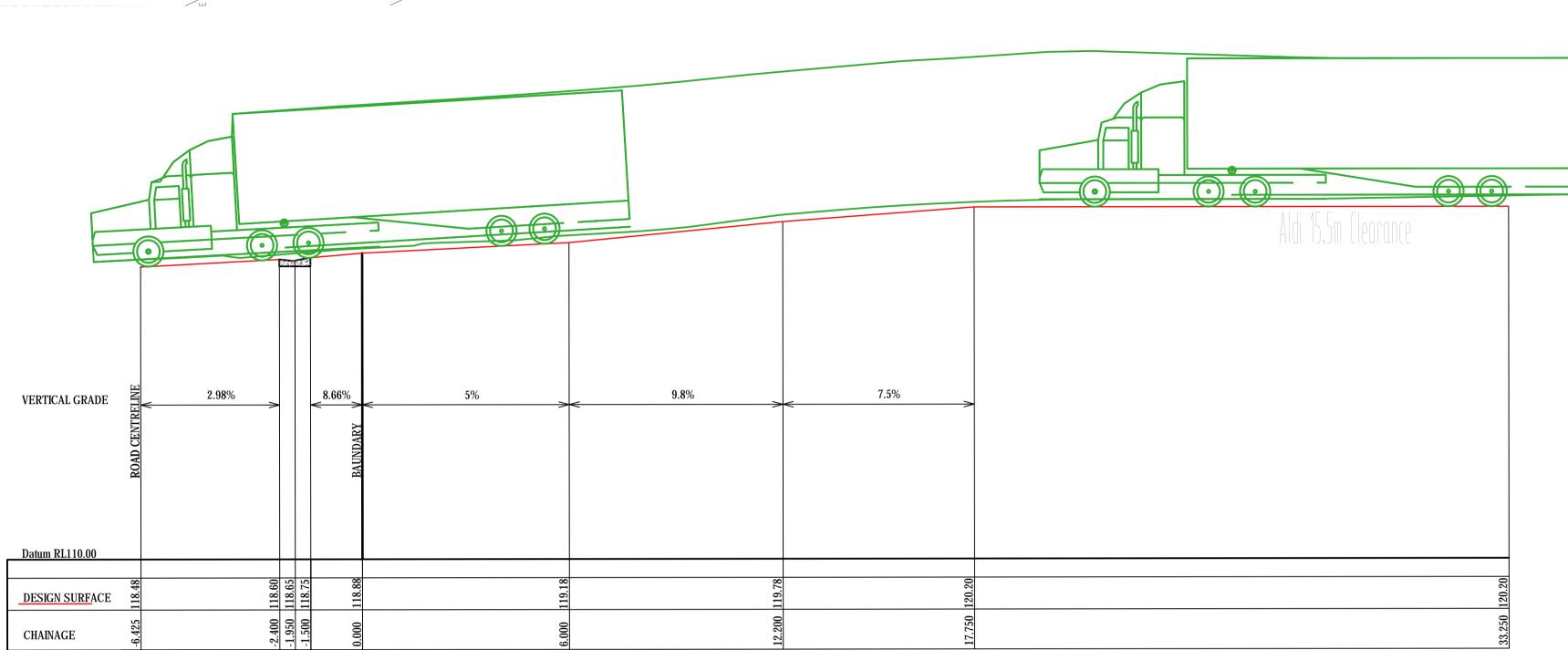
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Α	ISSUE FOR APPROVAL	23.04.18	DK	MB	
Issue	Description	Date	Drawn	Approved	
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Client ALDI STORES (A LIMITED PARTNERSHIP)

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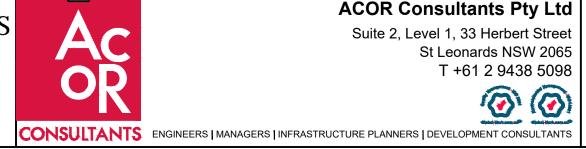


HAINAGE	-6.4	-2.4	-1.9	0.0(6.00	12.5	17.	33
		LONGIT HORIZONTAL S VERTICAL SCA	CALE	1:100	SECTION - PROFILE 2			
		o o Aldi 15.5m (learo						
ERTICAL GRADE	ROAD CENTRELINE	< <u>3.72%</u> ≥	•	BOUNDARY V	< 3.66% >	<	7.5%	
atum RL110.00								
ESIGN SURFACE	118.63	10 70	118.73	118.96	119.18	0 7 7		120.20
CHAINAGE	-6.425		-2.400					

LONGITUDINAL SECTION - PROFILE 1 HORIZONTAL SCALE 1:100 VERTICAL SCALE 1:100



Architect LEFFLER SIMES ARCHITECTS



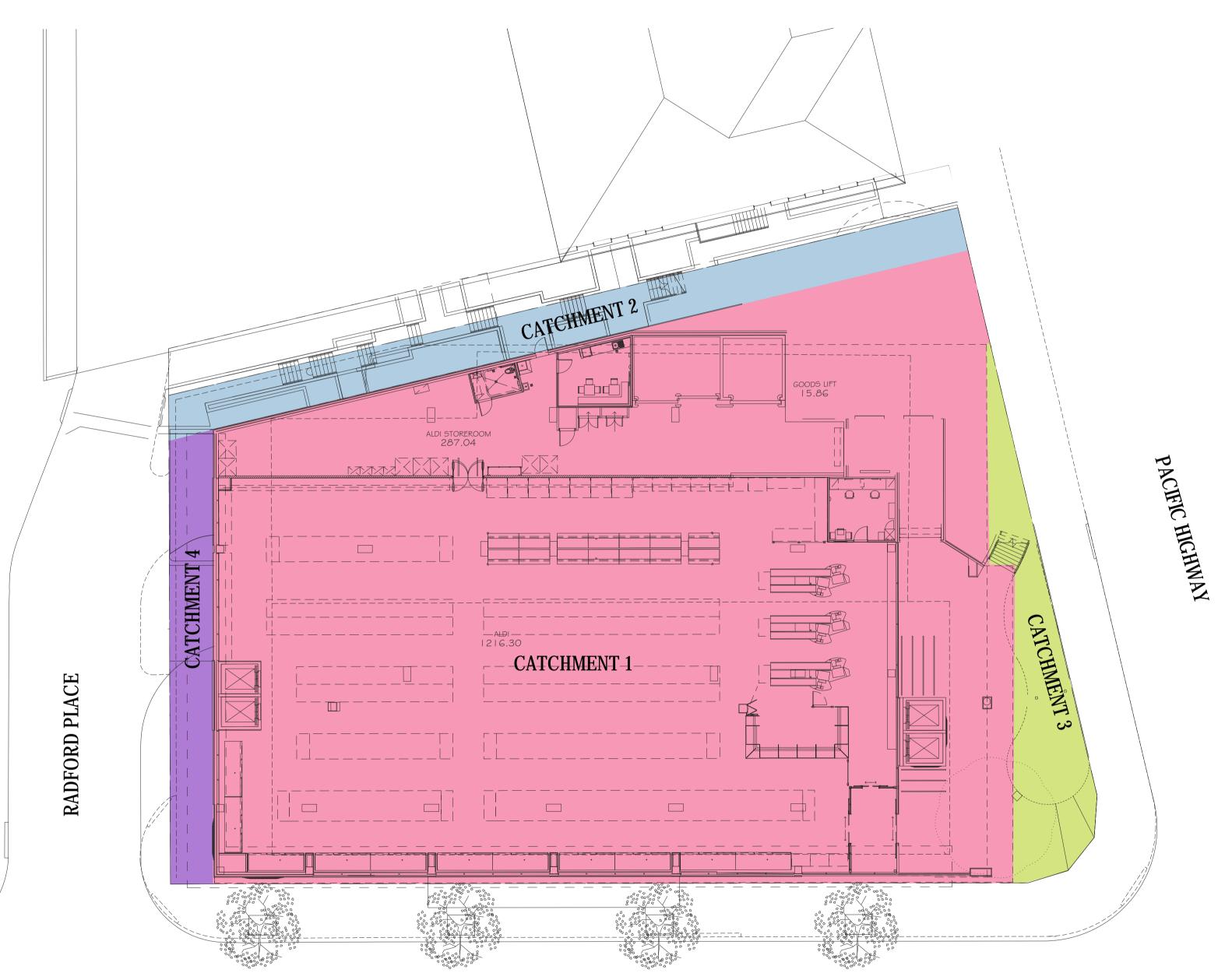
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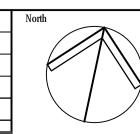
Drawing Title LOADING DOCK DRIVEWAY LONGITUDINAL SECTIONS								
Drawn	Date	Scale	A1	Q.A. Check	Date	9.94nm		
DW	OCT 2017	1:100						
Designed	Project No.			Dwg. No.	Issue	2018		
MB	SY16	C4.01	A	Anr 93				

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					North
Α	ISSUE FOR REVIEW	5.09.18	DW	MB	
Issue	Description	Date	Drawn	Approved	
-1 0	1cm at full size			20cm	



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Project
PROPOSED MIXED USE DEVELOPMENT













CATCHMENT 1

AREA = 1984mf DRAINS TO OSD IMPERVIOUS AREA = 1919m² PERVIOUS AREA = 65m²

CATCHMENT 2

AREA = 166m² **BYPASS - DRAINS TO RADFORD PLACE** IMPERVIOUS AREA = 80m² PERVIOUS AREA = 86m²

CATCHMENT 3 AREA = 117mf BYPASS - DRAINS TO DUMARESQ PLACE IMPERVIOUS AREA = 63m² PERVIOUS AREA = 54m²

CATCHMENT 4 AREA = 9007 BYPASS - DRAINS TO **RADFORD PLACE** IMPERVIOUS AREA = 90m² PERVIOUS AREA = Onf

NOT FOR CONSTRUCTION

Drawing Title STORMWATER CATCHMENT AREA

Drawn	Date	Scale	A1	Q.A. Check	Date
DW	SEPT 2018	1:200			
Designed	Project No.			Dwg. No.	Issue
MB	SY160311			C5.01	Α